



## TOWN OF KILL DEVIL HILLS

*Land Where Flight Began*

MEMORANDUM

November 14, 2016

TO: Mayor and Board of Commissioners

FROM: Debora P. Diaz, Town Manager 

REF: New Business

1. **Site plan review (Attached NB-1A)**

A. **First Flight Hotel, LLC – proposed 152 room hotel with 226 parking spaces, oceanfront amenity building and associated site modifications – 2028 and 2031 South Virginia Dare Trail**

Over the course of two meetings, the Planning Board reviewed this site plan for a 152-room hotel, with 226 parking spaces and associated site modifications, to be located at 2028 and 2031 South Virginia Dare Trail. Approval of the proposed development was recommended at the Planning Board's November 1, 2016 meeting. Two conditions for approval were recommended and the developer, Ratnam Patel, has agreed to address them.

Assistant Planning Director Bryan Brightbill memorandum references several informational items related to this site plan and they are included with the packet on the Town's website.

Staff recommends the Board of Commissioners approve the site plan for the *First Flight Hotel, LLC – proposed 152 room hotel w/226 parking spaces, oceanfront amenity building and associated site modifications – 2028 and 2031 South Virginia Dare Trail* subject to the following conditions being satisfied prior to issuance of a building permit:

- Correct side yard setbacks on hotel side of the proposed development to 34 feet in accordance with the requirements of §153.181(C)(1) Side yard; and
- Prepare water meter service sizing forms for each domestic meter including all proposed fixtures connected to each to confirm proposed sizing.

A motion will be in order.

Director of  
Planning and Inspections  
MEREDITH GUNS

Chief Building Inspector  
MATT LOWCHER

Code Enforcement Officer  
MARTY SHAW



Assistant Director of  
Planning and Inspections  
BRYAN BRIGHTBILL

Senior Planner  
CAMERON RAY

Zoning Administrator  
DONNA ELLIOTT

**THE TOWN OF KILL DEVIL HILLS**  
NORTH CAROLINA

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**PLANNING DEPARTMENT**

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November 14, 2016

Memorandum

To: Debbie Diaz, Town Manager

From: Bryan Brightbill, Assistant Planning Director 

Subject: SITE PLAN REVIEW—First Flight Hotel, LLC—Proposed 152 Room Hotel, 226 Parking Spaces, Oceanfront Amenity Building and Associated Site Modifications—2028 and 2031 S Virginia Dare Trail

Enclosed is a proposed site plan submitted by First Flight Hotel, LLC to construct an 83,997 square foot, 152 room hotel structure, 198 parking spaces and associated site modifications at 2028 South Virginia Dare Trail in the Commercial zoning district. The proposal also calls for the construction of a 9,789 square foot oceanfront amenity building, 28 parking spaces and associated site modifications across the street at 2031 South Virginia Dare Trail in the Ocean Impact Residential zoning district.

Attached you will find a commercial site plan review application, stormwater management report, fire hydrant flow test information, KDHWTP willingness-to-serve letter, floorplans for the hotel structure, and the most recent technical review comments from staff.

The Planning Board reviewed this proposal on November 1, 2016 and forwarded it to the Board with a favorable recommendation subject to the following conditions being addressed prior to the issuance of a building permit:

1. Correct side yard setbacks on hotel side of the proposed development to 34' per §153.181(1) *Side yard*.
2. Prepare water meter service sizing forms for each domestic meter including all proposed fixtures connected to each to confirm proposed sizing.

The applicant, Ratnam Patel, is aware of these conditions and has agreed to address them. Please see the attached e-mail dated November 2, 2016 in regards to this matter.

Staff recommends approval of the site plan as presented with the two above listed conditions.

**ATTACHMENT NB-1A**



# TOWN OF KILL DEVIL HILLS PUBLIC SERVICES

Post Office Box 1719, 107 Town Hall Drive  
Kill Devil Hills, NC 27948  
Administration (252) 480-4080 Fax (252) 441-6136  
Office Hours: 8:00 a.m. – 5:00 p.m. Mon. – Fri.  
Water Plant (252) 480-4090  
[www.kdhnc.com](http://www.kdhnc.com)

**STEPHEN F. ALBRIGHT**  
Director

Date: October 27, 2016

**MARCIA K. SCARBOROUGH**  
Administrative Services

To: Bryan Brightbill, Assistant Planning Director

**ALFRED W. BURTON**  
Water Plant

From: Stephen F. Albright, Public Services Director

**WILLIAM H. WATERFIELD**  
Water Systems

RE: *SITE PLAN TECHNICAL REVIEW 3— First Flight Hotel(152 Room Hotel) Located at 2020 and 2031 South Virginia Dare Trail*

**L. RANDOLPH TURNER**  
Streets

**LYNN E. LINDSEY**  
Solid Waste

Please note the following comments for the proposed site plan at the above referenced address:

## Streets

- Any necessary NCDOT driveway permits and/or encroachment agreements shall be required prior to permit approval.
- NCDOT approval of the proposed crosswalk and signage is required.

## Solid Waste

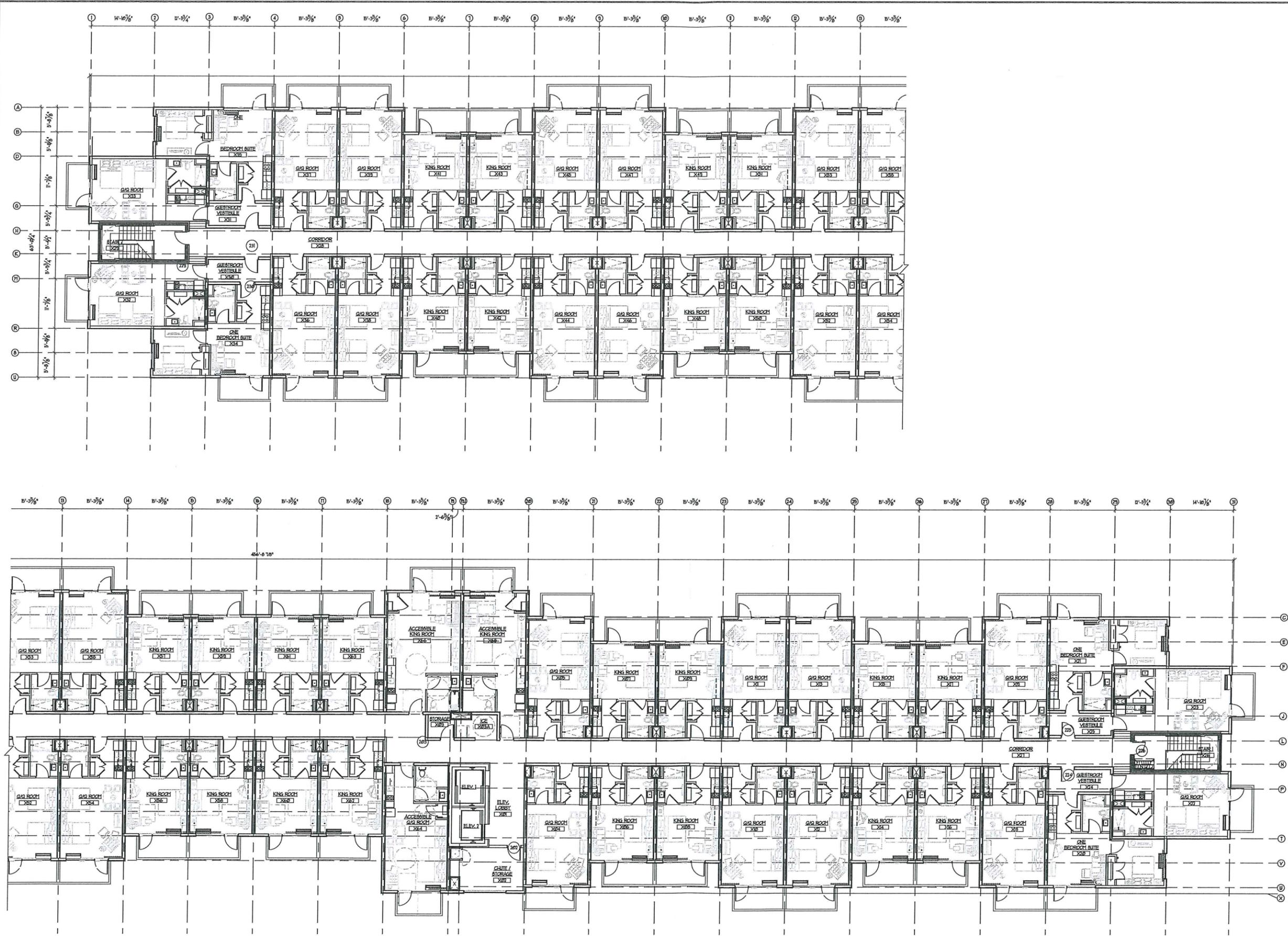
- Recommend the developer implement a recycling program to reduce refuse volumes.

## Water

- Please prepare water meter service sizing forms for each domestic meter including all proposed fixtures connected to each to confirm proposed sizing. This may be conditioned prior to issuance of a building permit.

- Site is currently served by (5) active meters including a 1.5", 1" and (3) 5/8" x 3/4"
- Proposed services include:
  - Proposed 4" meter to service hotel building (west side of NC 12)
  - Fees associated with this service:
    - Initial Hook Up = 152 room hotel / 1 unit per impact (habitable hotel room)
      - = 152
      - 152 x \$4,000 = \$608,000
    - Tap Fee\* based on actual cost = Not included at this time\*
    - Surety = \$2,200
    - **Total** **\$610,200\***
    - Credit for existing Hotel and Restaurant =
      - 58 Hotel rooms = 20 IHF = \$80,000
      - 75 Restaurant Seats = 4 IHF = \$16,000
      - 5/8" x 3/4" meter serving SFD = \$4,000
      - Total Credit west side = \$100,000
      - **Total cost less tap fees west side = \$510,200\***
  - Proposed 2" meter to service restaurant and oceanfront building (east side of NC 12)
  - Fees associated with this service:
    - Initial Hook Up = 200 seat restaurant / 20 seats per impact
      - = 10 IHF
      - 10 IHF x \$4,000 = \$40,000
    - Tap Fee 2" = \$3,483
    - Surety = \$550
    - **Total** **\$44,033**
    - Credit for existing meters =
      - (1) 5/8" x 3/4" meter serving SFD's = \$4,000
      - 1" meter serving SFD = \$6,000
      - Surety paid by First Flight Hotel LLC = \$200
      - Total Credit east side = \$10,200
      - **Total cost east side = \$33,833**





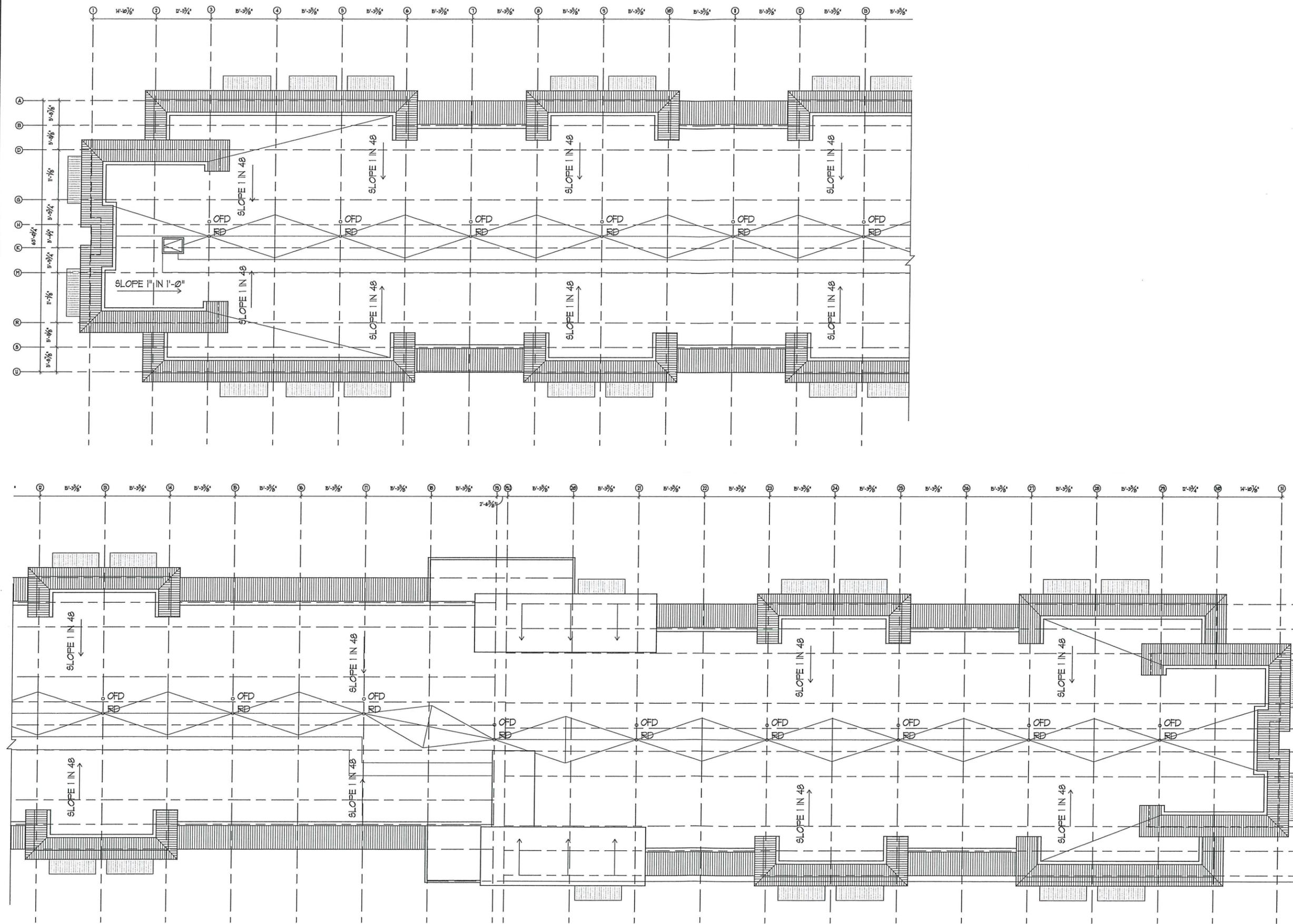
1 SECOND FLOOR PLAN  
 A102/A102 SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN

DATE	OCTOBER 3 2016
REVISIONS	
NO.	DATE

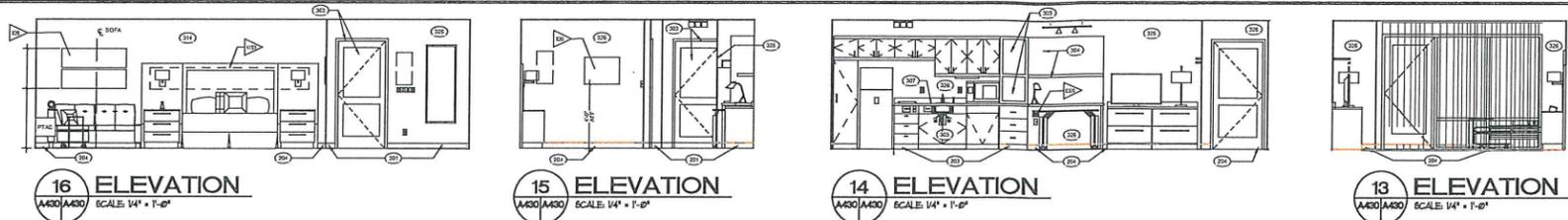




ROOF PLAN

DATE: OCTOBER 3 2016	
NO.	DATE



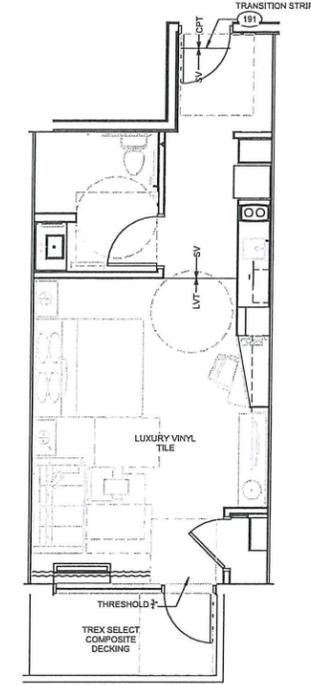


16 ELEVATION  
SCALE: 1/4" = 1'-0"

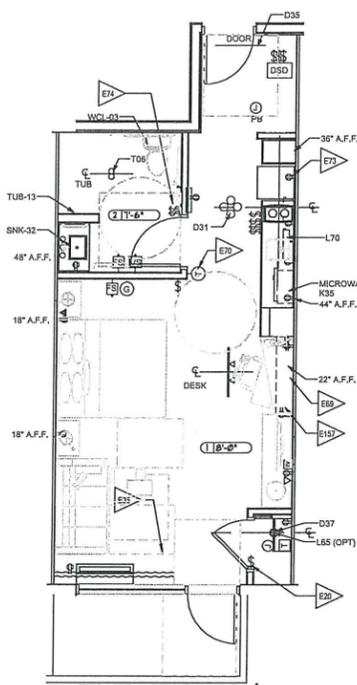
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14 ELEVATION  
SCALE: 1/4" = 1'-0"

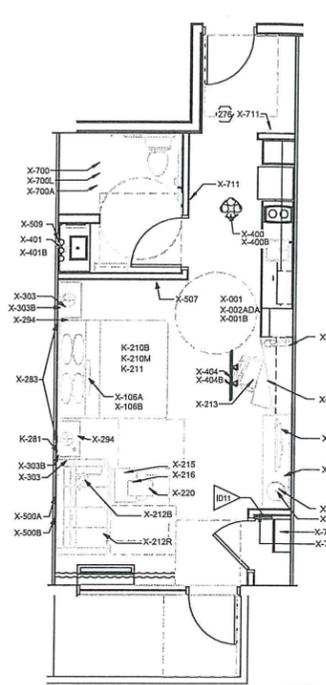
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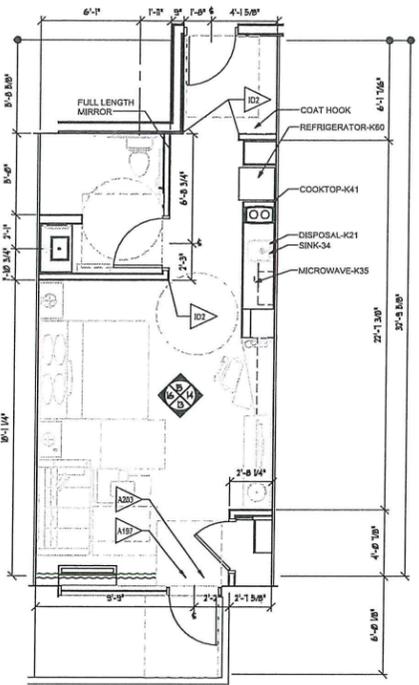
12 FLOOR FINISH PLAN  
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11 ELECTRICAL/  
PLUMBING/RCP  
SCALE: 1/4" = 1'-0"

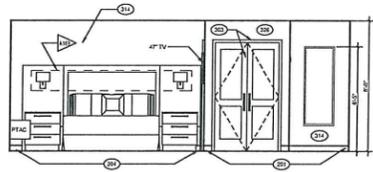


10 FURNITURE LAYOUT  
SCALE: 1/4" = 1'-0"

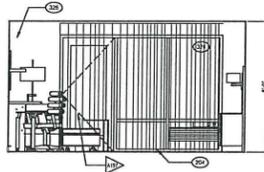


9 ARCHITECTURAL  
SCALE: 1/4" = 1'-0"

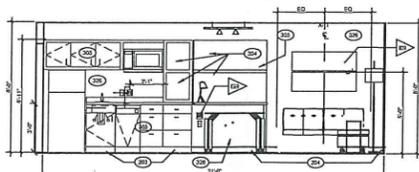
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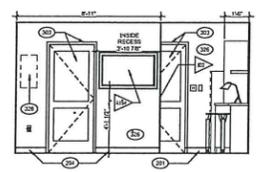
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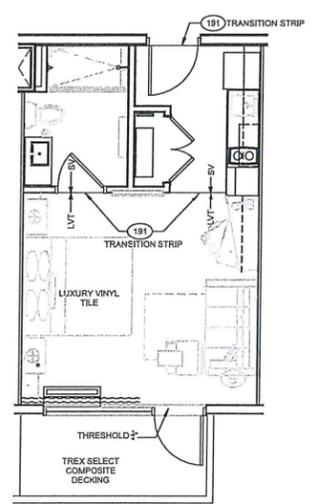
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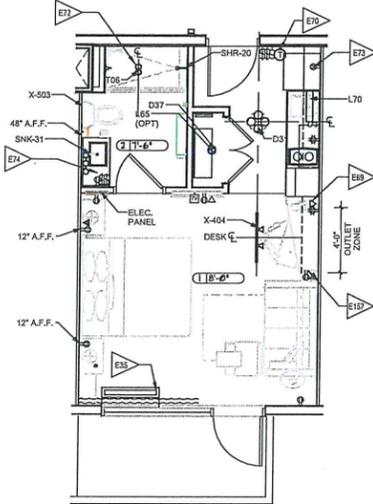
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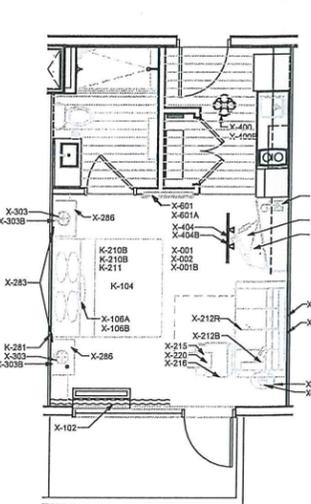
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SCALE: 1/4" = 1'-0"



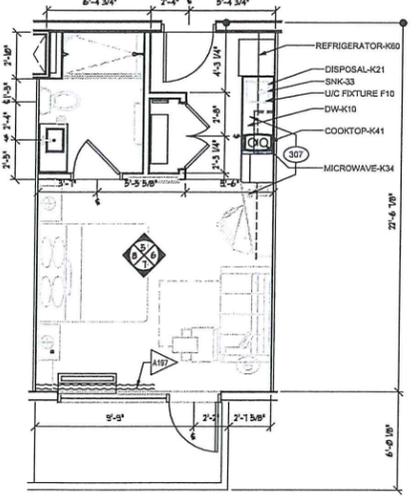
4 FLOOR FINISH PLAN  
SCALE: 1/4" = 1'-0"



3 ELECTRICAL/  
PLUMBING/RCP  
SCALE: 1/4" = 1'-0"



2 FURNITURE LAYOUT  
SCALE: 1/4" = 1'-0"



1 ARCHITECTURAL  
SCALE: 1/4" = 1'-0"

KING STUDIO

- REFERENCE NOTES:
- REFER TO DESIGN STANDARDS "GUESTROOM CHAPTER FOR MAIN REQUIREMENTS RELATED TO GUESTROOMS"
  - REFER TO INTERIOR DESIGN SPECIFICATION MANUAL - VISUAL DECOR MAY BE PROPOSED TO SELECT INTERIOR FINISHES, ARTWORK AND OPTIONAL ITEMS FOR ALL GUESTROOM TYPES
- ARCHITECTURAL
- A187 BLOCING IN CEILING FOR DRAPERY TRACKS. COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS, WHERE CEILING HEIGHT IS HIGHER THAN 8'-0"
  - A189 INDICATE BLOCING IN WALL FOR ALL CASEWORK, FIXTURES, GRAB BARS AND ACCESSORIES. COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
  - A194 PROVIDE BLOCING FOR TV MOUNTING BRACKET.
  - A196 WALL MOUNTED STOP LOCATION WHEN DOOR OPENS NEAR MIRROR.
  - A197 LOCATE OPERABLE SASH ON OPPOSITE SIDE OF PTAC UNIT.
  - A203 ADDITIONAL HARDWARE MAY BE REQUIRED FOR WINDOW TO MEET ADA.
- INTERIOR DESIGN
- I02 ALL EXTERIOR CORNERS SHALL HAVE FULL HEIGHT CORNER GUARDS.
  - I06 MOTORIZED WINDOW TREATMENT AS REQUIRED. REFER TO INTERIOR DESIGN SPECIFICATION MANUAL.
  - I08 CENTER ARTWORK ON WALL.
  - ID11 IRON AND IRONING BOARD STORAGE ACCESSORY TO BE LOCATED INSIDE CLOSET.
- ENGINEERING
- E30 PROVIDE CONTACT GIMMIES IN DOOR FRAME FOR CLOSET LIGHT FIXTURE D37. REFER TO DOOR HARDWARE SETS.
  - E35 PTAC FOR TYPICAL GUEST ROOM HVAC.
  - E69 OUTLETS FOR QUAD & DATA. SEE ELEVATION FOR ADDITIONAL INFORMATION. INDICATE EXTENDED FACEPLATES WHERE REQUIRED.
  - E70 THERMOSTAT. ALIGN WITH OUTLET BELOW WHERE OCCURS. SEE ELEVATION FOR ADDITIONAL INFORMATION. ALIGN DEVICES VERTICALLY 6" FROM EDGE OF WALL.
  - E72 CENTER FIXTURE IN SHOWERTUB.
  - E73 REFRIGERATOR OUTLET.
  - E74 EXHAUST FANLIGHT LOCATION, TO BE SWITCHED WITH MAIN ROOM LIGHT, WHEN CONTINUOUS VENTING IS USED. INSTALL FIXTURE.
  - E157 DUPLEX OUTLET WITH USB PORT.
  - E159 MOUNT TV OUTLET AT 18 A.F.F.

ELECTRICAL LEGEND	
	TELEPHONE OUTLET
	GROUND FAULT INTERRUPTER, DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE
	TV OUTLET
	RACEWAY AND WIRING
	JUNCTION BOX
	WALL MOUNTED LIGHT FIXTURE
	CEILING LIGHT FIXTURE
	SWITCH
	MASTER SWITCH

CEILING TYPES	
1. PAINTED GYP. BD.	HEIGHT
2. MOLD AND MOISTURE RESISTANCE GYP.	HEIGHT
	CEILING TYPE

nbj ARCHITECTURE  
 1200 Park Square  
 3200 Regency Square  
 Glen Allen, Virginia 22060  
 www.nbjarch.com (801) 274-0111 (801) 274-0143

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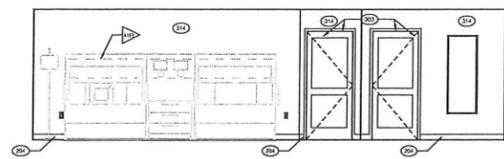
TOWNEPLACE SUITES  
 OUTER BANKS, NC

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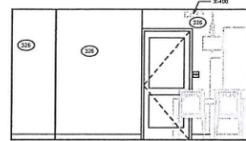
A DEVELOPMENT BY:  
 FIRST FLIGHT HOTEL, LLC.  
 ENLARGED ROOM TYPE  
 KING STUDIO +  
 ACCESSIBLE KING STUDIO

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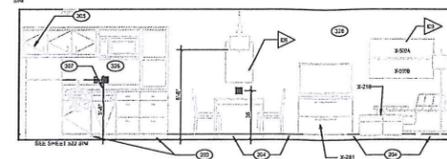
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 REVISIONS  
 NO. DATE  
  
 Sheet  
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 File Number  
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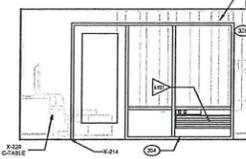
16 INTERIOR ELEVATION  
A101/A426 SCALE: 1/4" = 1'-0"



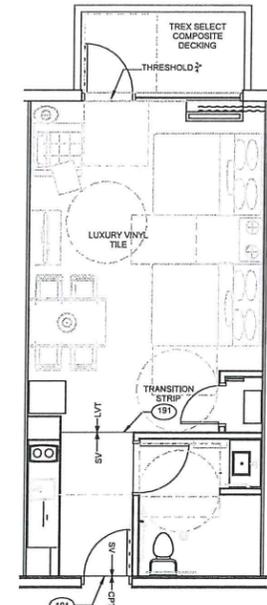
15 INTERIOR ELEVATION  
A101/A426 SCALE: 1/4" = 1'-0"



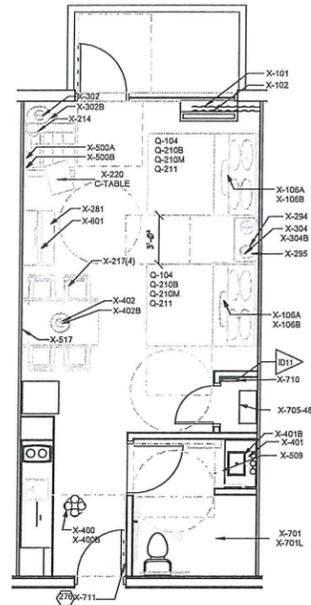
14 INTERIOR ELEVATION  
A101/A426 SCALE: 1/4" = 1'-0"



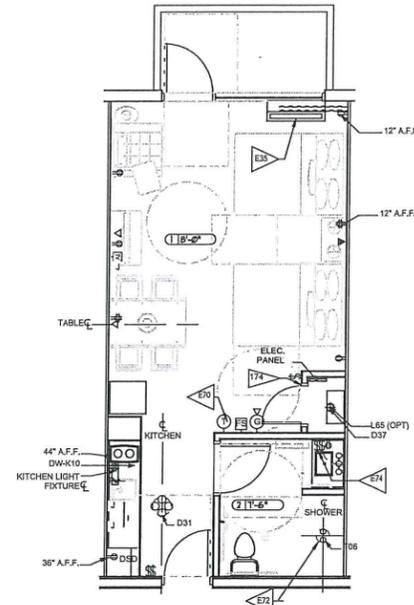
13 INTERIOR ELEVATION  
A101/A426 SCALE: 1/4" = 1'-0"



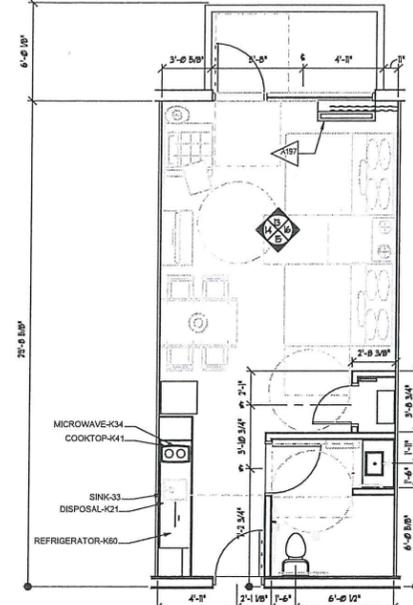
12 FLOOR FINISH LAYOUT  
A101/A426 SCALE: 1/4" = 1'-0"



11 FURNITURE LAYOUT  
A101/A426 SCALE: 1/4" = 1'-0"

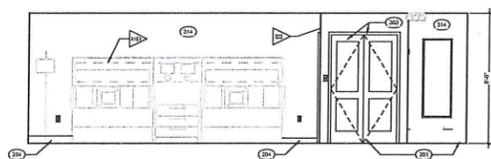


10 ELECTRICAL/RCP PLUMBING PLAN  
A101/A426 SCALE: 1/4" = 1'-0"

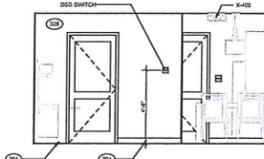


9 ARCHITECTURAL PLAN  
A101/A426 SCALE: 1/4" = 1'-0"

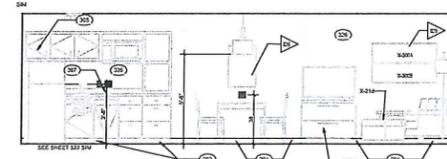
ACCESSIBLE  
DOUBLE QUEEN ROOM



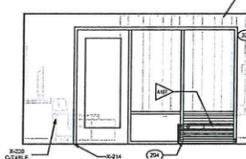
8 INTERIOR ELEVATION  
A101/A426 SCALE: 1/4" = 1'-0"



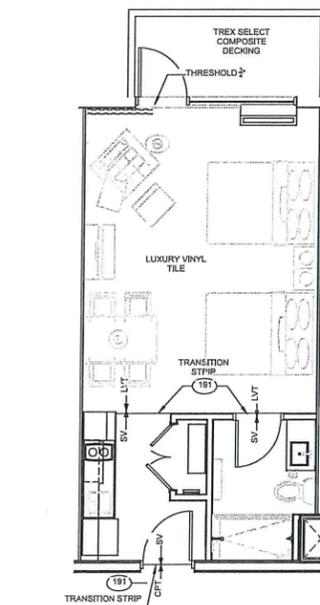
7 INTERIOR ELEVATION  
A101/A426 SCALE: 1/4" = 1'-0"



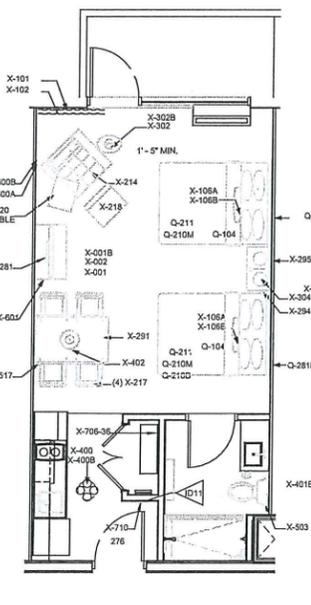
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A101/A426 SCALE: 1/4" = 1'-0"



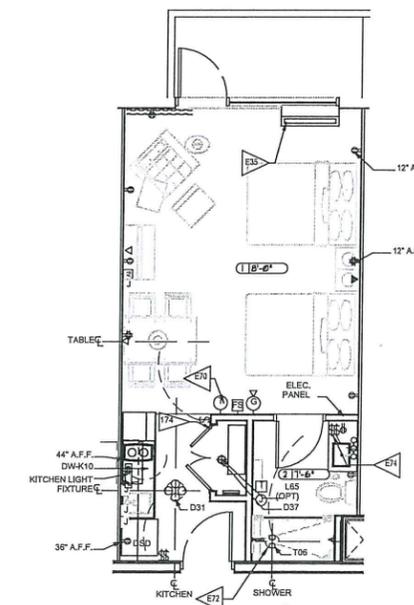
5 INTERIOR ELEVATION  
A101/A426 SCALE: 1/4" = 1'-0"



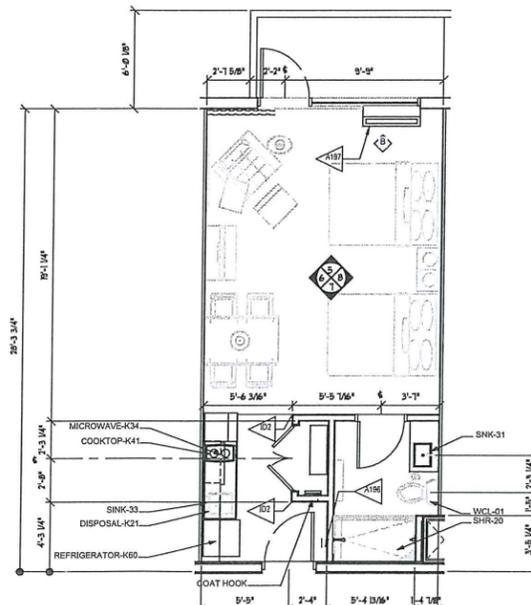
4 FLOOR FINISH PLAN  
A101/A426 SCALE: 1/4" = 1'-0"



3 FURNITURE LAYOUT  
A101/A426 SCALE: 1/4" = 1'-0"



2 ELECTRICAL/RCP PLUMBING PLAN  
A101/A426 SCALE: 1/4" = 1'-0"



1 ARCHITECTURAL PLAN  
A101/A426 SCALE: 1/4" = 1'-0"

DOUBLE QUEEN ROOM

REFERENCE NOTES:

- REFER TO DESIGN STANDARDS 'GUESTROOM CHAPTER FOR MAIN REQUIREMENTS RELATED TO GUESTROOMS
- REFER TO INTERIOR DESIGN SPECIFICATION MANUAL - VISUAL DECORUM TO PROPERLY SELECT INTERIOR FINISHES, ARTWORK AND OPTIONAL ITEMS FOR ALL GUESTROOM TYPES

ARCHITECTURAL

- BLOCKING IN CEILING FOR DRAPERY TRACKS. COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS. WHERE CEILING HEIGHT IS HIGHER THAN 9'-0"
- INDICATE BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, GRAB BARS AND ACCESSORIES. COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
- PROVIDE BLOCKING FOR TV MOUNTING BRACKET.
- WALL MOUNTED STOP LOCATION WHEN DOOR OPENS NEAR WARDROBE.
- LOCATE OPERABLE SASH ON OPPOSITE SIDE OF PTAC UNIT.
- ADDITIONAL HARDWARE MAY BE REQUIRED FOR WINDOW TO MEET ADA.

INTERIOR DESIGN

- ALL EXTERIOR CORNERS SHALL HAVE FULL HEIGHT CORNER GUARDS.
- MOTORIZED WINDOW TREATMENT AS REQUIRED. REFER TO INTERIOR DESIGN SPECIFICATION MANUAL CENTER ARTWORK ON WALL.
- IRON AND IRONING BOARD STORAGE ACCESSORY TO BE LOCATED INSIDE CLOSET.

ENGINEERING

- PROVIDE CONTACT ON/OFF SWITCHES IN DOOR FRAME FOR CLOSET LIGHT FIXTURE D37. REFER TO DOOR HARDWARE SETS.
- PTAC FOR TYPICAL GUEST ROOM HVAC.
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- THERMOSTAT. ALIGN WITH OUTLET BELOW WHERE OCCURS. SEE ELEVATION FOR ADDITIONAL INFORMATION. ALIGN DEVICES VERTICALLY 6" FROM EDGE OF WALL.
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- REFRIGERATOR OUTLET.
- EXHAUST FAN/LIGHT LOCATION. TO BE SWITCHED WITH MAIN ROOM LIGHT. WHEN CONTINUOUS VENTING IS USED, INSTALL FIXTURE.
- DUPLEX OUTLET WITH USB PORT
- MOUNT TV OUTLET AT 18" A.F.F.

ELECTRICAL LEGEND

⊕	TELEPHONE OUTLET
⊕	GROUND FAULT INTERRUPTER, DUPLEX RECEPTACLE
⊕	DUPLEX RECEPTACLE
⊕	TV OUTLET
⊕	RACEWAY AND WIRING
⊕	JUNCTION BOX
⊕	WALL MTD. LT. FIXTURE
⊕	CEILING LT. FIXTURE
⊕	SWITCH
⊕	MASTER SWITCH

CEILING TYPES

- PAINTED GYP. BD.
- MOLD AND MOISTURE RESISTANCE GYP. BOARD

15'-0" CEILING TYPE

mbj ARCHITECTURE  
A101/A426 SCALE: 1/4" = 1'-0"

TOWNEPLACE SUITES  
OUTER BANKS, NC

TownePlace Suites  
Marriott

A DEVELOPMENT BY:  
FIRST FLIGHT HOTEL, LLC.

ENLARGED ROOM TYPE  
DOUBLE QUEEN ROOM +  
ACCESSIBLE DOUBLE QUEEN RM

Date: OCTOBER 3 2016

NO.	REVISIONS	DATE

Sheet  
A426  
File Number  
A426-04.Dwg

REFERENCE NOTES:  
 A. REFER TO DESIGN STANDARDS 'GUESTROOM CHAPTER FOR MAIN REQUIREMENTS RELATED TO GUESTROOMS  
 B. REFER TO INTERIOR DESIGN SPECIFICATION MANUAL - VISUAL DECOR MAP TO PROPERLY SELECT INTERIOR FINISHES, ARTWORK AND OFFICIAL ITEMS FOR ALL GUESTROOM TYPES

**ARCHITECTURAL**

A167 BLOCKING IN CEILING FOR DRAPERY TRACKS. COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS, WHERE CEILING HEIGHT IS HIGHER THAN 9'-0"

A169 INDICATE BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, GRAB BARS AND ACCESSORIES. COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS

A194 PROVIDE BLOCKING FOR TV MOUNTING BRACKET.

A196 WALL MOUNTED STOP LOCATION WHEN DOOR OPENS NEAR MIRROR.

A197 LOCATE OPERABLE SASH ON OPPOSITE SIDE OF PTAC UNIT.

A203 ADDITIONAL HARDWARE MAY BE REQUIRED FOR WINDOW TO MEET ADA.

**INTERIOR DESIGN**

D02 ALL EXTERIOR CORNERS SHALL HAVE FULL HEIGHT CORNER GUARDS.

D08 MOTORIZED WINDOW TREATMENT AS REQUIRED. REFER TO INTERIOR DESIGN SPECIFICATION MANUAL.

D09 CENTER ARTWORK ON WALL.

D11 IRON AND IRONING BOARD STORAGE ACCESSORY TO BE LOCATED INSIDE CLOSET.

**ENGINEERING**

E20 PROVIDE CONTACT ON/OFF SWITCHES IN DOOR FRAME FOR CLOSET LIGHT FIXTURE D07. REFER TO DOOR HARDWARE SETS

E35 PTAC FOR TYPICAL GUEST ROOM HVAC.

E69 OUTLETS FOR QUID & DATA. SEE ELEVATION FOR ADDITIONAL INFORMATION. INDICATE EXTENDED FACE PLATES WHERE REQUIRED.

E70 THERMOSTAT. ALIGN WITH OUTLET BELOW WHERE OCCURS. SEE ELEVATION FOR ADDITIONAL INFORMATION. ALIGN DEVICES VERTICALLY FROM EDGE OF WALL. CENTER FIXTURE IN SHOWER/TUB.

E72 REFRIGERATION OUTLET.

E74 EMERGENCY FAULTLIGHT LOCATION. TO BE SWITCHED WITH MAIN ROOM LIGHT. WHEN CONTINUOUS VENTING IS USED, INSTALL FIXTURE.

E157 DUPLEX OUTLET WITH USB PORT

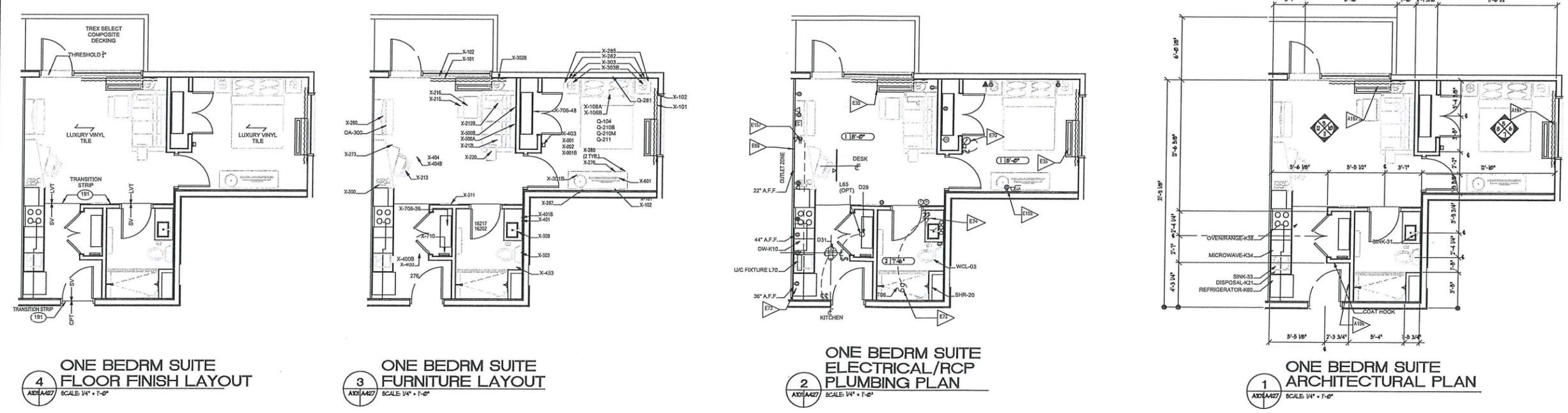
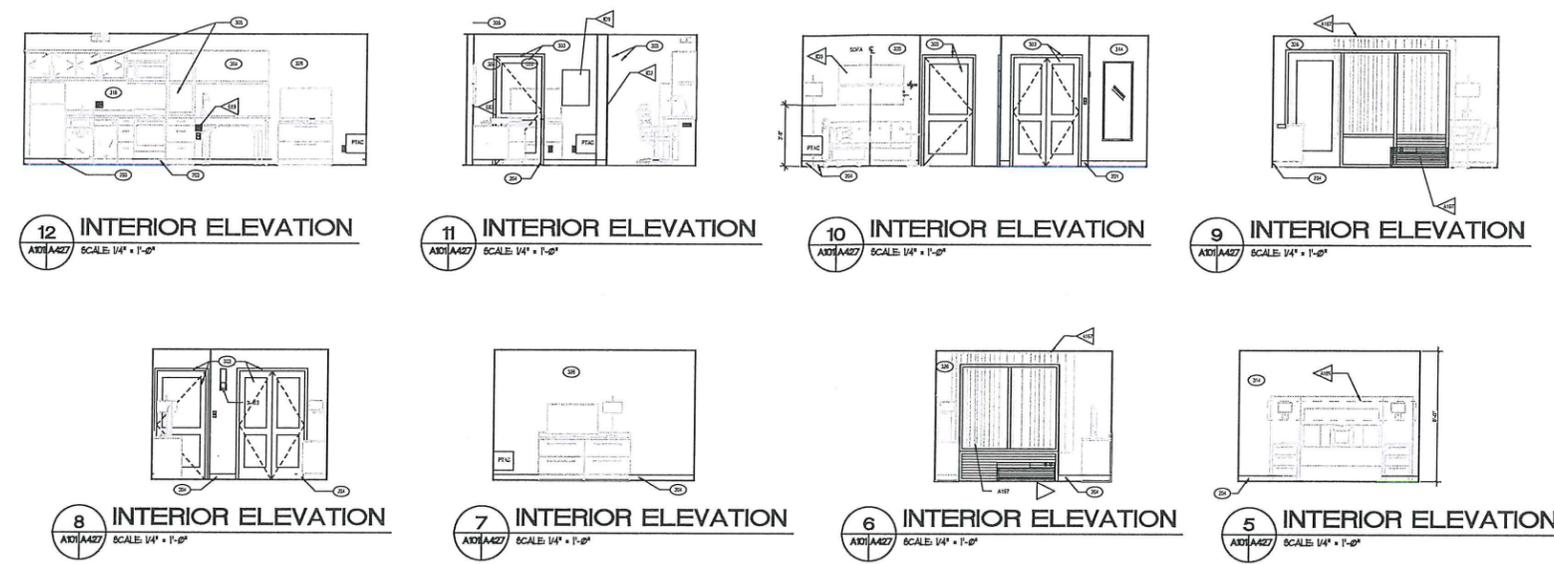
E159 MOUNT TV OUTLET AT 18 A.F.F.

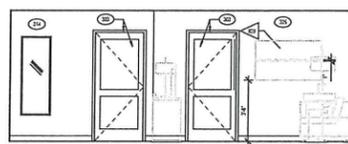
**ELECTRICAL LEGEND**

TELEPHONE OUTLET  
 GFI GROUND FAULT INTERRUPTER, DUPLEX RECEPTACLE  
 DUPLEX RECEPTACLE  
 TV OUTLET  
 RACEWAY AND WIRING  
 JUNCTION BOX  
 WALL MOUNTED LIGHT FIXTURE  
 CEILING LIGHT FIXTURE  
 SWITCH  
 MASTER SWITCH

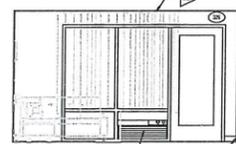
**CEILING TYPES**

1. PAINTED GYP. BD.  
 2. MOLD AND MOISTURE RESISTANCE GYP.  
 HEIGHT  
 CEILING TYPE

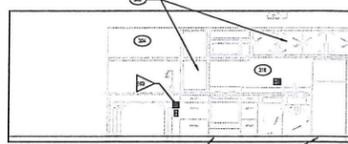




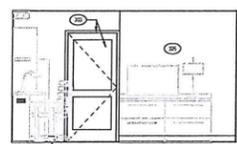
12 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



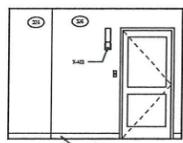
11 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



10 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



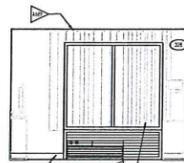
9 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



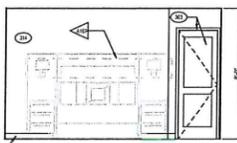
8 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



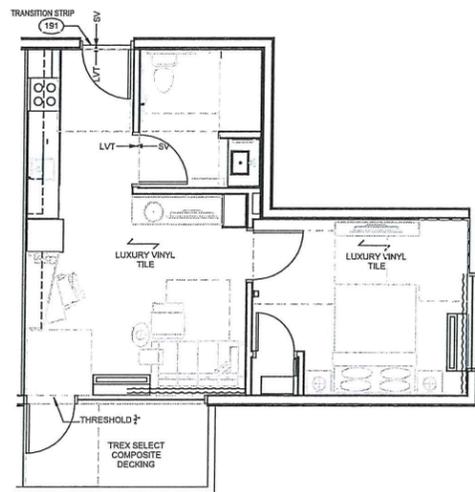
7 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



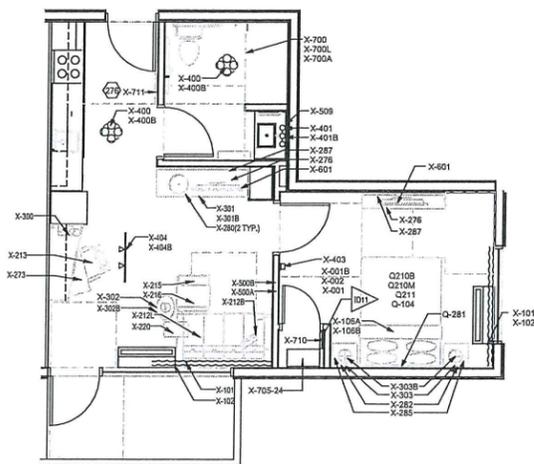
6 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



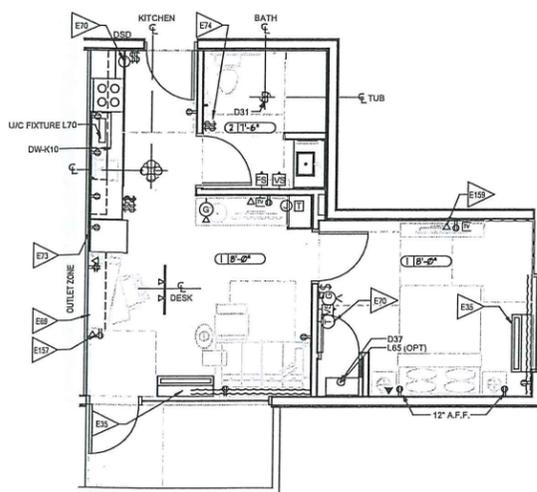
5 INTERIOR ELEVATION  
A10/A428 SCALE: 1/4" = 1'-0"



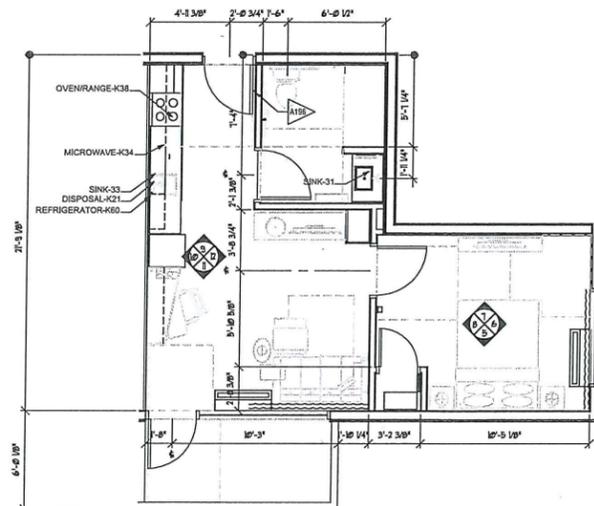
4 ACC. ONE BEDRM SUITE  
FLOOR FINISH LAYOUT  
A10/A428 SCALE: 1/4" = 1'-0"



3 ACC. ONE BEDRM SUITE  
FURNITURE LAYOUT  
A10/A428 SCALE: 1/4" = 1'-0"



2 ACC. ONE BEDRM SUITE  
ELECTRICAL/RCP  
PLUMBING PLAN  
A10/A428 SCALE: 1/4" = 1'-0"



1 ACC. ONE BEDRM SUITE  
ARCHITECTURAL PLAN  
A10/A428 SCALE: 1/4" = 1'-0"

REFERENCE NOTES:  
A. REFER TO DESIGN STANDARDS 'GUESTROOM CHAPTER FOR MANY REQUIREMENTS RELATED TO GUESTROOMS  
B. REFER TO INTERIOR DESIGN SPECIFICATION MANUAL - VISUAL DECORUM TO PROPERLY SELECT INTERIOR FINISHES, ARTWORK AND OPTIONAL ITEMS FOR ALL GUESTROOM TYPES

ARCHITECTURAL

- A187 BLOCKING IN CEILING FOR DRAPERY TRACKS, COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS, WHERE CEILING HEIGHT IS HIGHER THAN 8'-0"
- A189 INDICATE BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, GRAB BARS AND ACCESSORIES, COORDINATE LOCATION WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
- A194 PROVIDE BLOCKING FOR TV MOUNTING BRACKET.
- A196 WALL MOUNTED STOP LOCATION WHEN DOOR OPENS NEAR HURDLE.
- A197 LOCATE OPERABLE SASH ON OPPOSITE SIDE OF PTAC UNIT.
- A203 ADDITIONAL HARDWARE MAY BE REQUIRED FOR WINDOW TO MEET ADA

INTERIOR DESIGN

- ID2 ALL EXTERIOR CORNERS SHALL HAVE FULL HEIGHT CORNER GUARDS.
- ID8 MOTORIZED WINDOW TREATMENT AS REQUIRED. REFER TO INTERIOR DESIGN SPECIFICATION MANUAL.
- ID9 CENTER ARTWORK ON WALL.
- ID11 IRON AND IRONING BOARD STORAGE ACCESSORY TO BE LOCATED INSIDE CLOSET.

ENGINEERING

- E30 PROVIDE CONTACT ON/OFF SWITCHES IN DOOR FRAME FOR CLOSET LIGHT FIXTURE DIT. REFER TO DOOR HARDWARE SETS.
- E35 PTAC FOR TYPICAL GUEST ROOM HVAC.
- E69 OUTLETS FOR QUAD & DATA. SEE ELEVATION FOR ADDITIONAL INFORMATION. INDICATE EXTENDED FACEPLATES WHERE REQUIRED.
- E70 THERMOSTAT. ALIGN WITH OUTLET BELOW WHERE OCCURS. SEE ELEVATION FOR ADDITIONAL INFORMATION. ALIGN DEVICES VERTICALLY 6" FROM EDGE OF WALL.
- E72 CENTER FIXTURE IN SHOWERTUB.
- E73 REFRIGERATOR OUTLET.
- E74 EXHAUST FAN/LIGHT LOCATION, TO BE SWITCHED WITH MAIN ROOM LIGHT. WHEN CONTINUOUS VENTING IS USED, INSTALL FIXTURE.
- E187 DUPLEX OUTLET WITH USB PORT
- E189 MOUNT TV OUTLET AT 18 A.F.F.

ELECTRICAL LEGEND

- TELEPHONE OUTLET
- GROUND FAULT INTERRUPTER, DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE
- TV OUTLET
- RACEWAY AND WIRING
- JUNCTION BOX
- WALL MOUNTED LIGHT FIXTURE
- CEILING LIGHT FIXTURE
- SWITCH
- MASTER SWITCH

CEILING TYPES

1. PAINTED GYP. BD.
  2. MOLD AND MOISTURE RESISTANCE GYP. BOARD
- HEIGHT
- CEILING TYPE



