



# TOWN OF KILL DEVIL HILLS

*Land Where Flight Began*

MEMORANDUM

August 14, 2023

TO: Mayor and Board of Commissioners

FROM: Debora P. Díaz, Town Manager 

REF: New Business

**1. Site Plan Review – 1828 N. Croatan Highway in the Commercial Zone – Proposed Retail Store (Attached NB-1)**

Development Services Group, Inc. has submitted a proposed site plan for the construction of a 4,000 square foot retail store, parking lot with 16 parking spaces, and associated site modifications at 1828 North Croatan Highway. The attached Planning Department memorandum and site plans highlight the request.

At its July 18, 2023, meeting, the Planning Board voted to forward this site plan to the Board of Commissioners, recommending approval pending several conditions, which have been addressed by the applicant. Staff recommends approval of the site plan as presented, and a motion is in order.

Director of  
Planning and Inspections  
MEREDITH GUNS

Building Inspector  
MARTY SHAW  
CHARLES THUMAN

Code Enforcement Officer  
JORDAN BLYTHE



Assistant Director of  
Planning and Inspections  
CAMERON RAY

Senior Planner  
RYAN LANG

Zoning Administrator  
DONNA ELLIOTT

**THE TOWN OF KILL DEVIL HILLS**  
NORTH CAROLINA

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**PLANNING DEPARTMENT**

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August 14, 2023

Memorandum

To: Debbie Diaz, Town Manager

From: Ryan Lang, Senior Planner 

Subject: **SITE PLAN REVIEW — 1828 N Croatan Highway in the Commercial Zone — Proposed Retail Store**

Enclosed is a site plan submittal by Gary Franks of Development Services Group Inc, proposing the construction of a 4,000 square foot retail store, parking lot with 16 parking spaces, and associated site modifications. The proposed retail store is a permitted use in the Commercial Zone (N) *Retail Business*. As proposed, the business will be a paint retail store, "Sherwin Williams". Attached you will find the commercial site plan application, proposed site plan, proposed building elevations and floor plan, site narrative with stormwater calculations, and willingness to serve from KDHWTP, LLC.

The Planning Board reviewed this proposal on July 18, 2023 and forwarded it to the Board recommending approval with several conditions. The applicant has since addressed the conditions.

Staff recommends approval of the site plan as presented.

Town of Kill Devil Hills Planning and Inspections  
Commercial Site Plan Review Application\*



**Applicant**

Name: Gary Franks  
 Address: 1210 Progressive Dr., Suite 201  
Chesapeake, VA 23320  
 Phone: 757-908-2372  
 Fax: \_\_\_\_\_  
 Cell: \_\_\_\_\_

**Property Owner**

Name: GEMCAP Development  
 Address: 418 N. Marshall Street, Suite 201  
Winston Salem, NC 27101  
 Phone: 336-724-0153  
 Fax: \_\_\_\_\_  
 Cell: \_\_\_\_\_

**Property Location** 1828

Address: N. Croatan Hwy & 4th Street Lot, Block: Southend of parcel B  
 Subdivision: Wright's Shores Pin#: 988406289382

Zoning District:  Commercial  LI-1  LI-2  OIR  
 Total Lot Size: 31,228 Sq. Ft. Disturbed Area: 32,028 Sq. Ft.

**Contractor**

Company Name: TBD License Number: \_\_\_\_\_  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_ Cell: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Town Privilege License Number: \_\_\_\_\_

**Construction Information**

Type of Construction: \_\_\_\_\_  
 Assembly  Business  Educational  Factory/Industrial  High Hazard  
 Institutional  Mercantile  Residential  Storage  Utility/Misc.  
 New Construction  Addition  Repair/Replace  Remodel  Other: \_\_\_\_\_

**Square Footage Proposed:**

Interior Space: 4,000 Sq. Ft. Covered Deck(s): 0 Sq. Ft. Storage: 0 Sq. Ft.  
 Garage: 0 Sq. Ft. # of Bedrooms: n/a # of Open Deck(s): 0  
 Proposed Square Footage: 4,000 + Existing Square Footage: 0 = 4,000 Total Sq. Ft.  
 % Impervious Coverage: 58.4 + % Pervious Coverage: 0 = 58.4 Total % Coverage  
 # of Parking Spaces: Existing: 0 Proposed: 16 Total: 16  
 Septic Tank Permit #: n/a Construction Type: Type IIB

Estimated Construction Cost (including labor and materials): \_\_\_\_\_

**Flood Information**

Flood Zone:  VE  AE  X Base Flood Elevation: N/A  
 Proposed First Floor Elevation: 9.1 Sq. Ft Below Base Flood Elevation: N/A

*\*This form is designed as a guide for Commercial Site Plan Review.  
 Additional plans and information will be required prior to building permits.*

**Project Description**

Proposed 4,000sf retail store and parking lot.

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**Required Site Plan Information Checklist:**

- Permit Application (Completed)
- Site Plan Including the following
  - Submittal Requirements:
    - Vicinity Map
    - 15 Copies of Site Plan & Building Plan Elevations – Front, Side, and Rear
    - Tentative Health Department Approval
    - Site Plan Development Review Fee Paid in Full
  - Existing Conditions:
    - Boundary of Entire Lot
    - Width and Location of Existing Right of Ways
    - Nature, Purpose, Locations, and Size of Existing Easements
    - Iron Pins and Concrete Monuments
    - Scale (1" = 50" Minimum)
    - North Arrow
    - Streets Including Width of Pavement
    - All Underground Utilities, Gas/Propane Below or Above Grade
    - Dare Co. Register of Deeds Map Book/Subdivision Ref.
    - Street Address
    - Present Recorded Owner, Developer, Engineer contacts
    - Adjacent Property Owners, Adj. Use & Zone
    - Corp. of Engineers Report / Wetland Study
    - NFIP Flood Zone (ref: Elevation Datum (NAVD 1988))
    - Minimum, Lot Size indicated
  - Proposed Improvements:
    - Zoning Use Compliance/Setbacks labeled
    - Landscaping Plan / Buffers / Screening (per section 153.073)
    - Lighting Plan - photometric showing point output (section 153.074)
    - Sedimentation & Erosion Control Plan including details
    - Disturbed Areas delineated & areas calculated
    - Location of Sidewalks on the Croatan Highway and Curbs
    - Location of Sewer Facilities and Drain field
    - Proposed Building Type, # of Floors and dimensions, floor area ratio, Height
    - Existing and Finished Grades of Entire Site
    - Storm Water Management Plan including calculations
    - Total Units and Density per Acre (Multi-Family) or floor area ratio (in OIR)
    - Lot Size and Lot Coverage Calculation
    - Utility Plan indicating location & sizes of proposed improvements
    - Water Service Sizing Checklist
    - Layout, Size and Number of Parking Spaces including handicap w/ setbacks (Each Space Numbered)
    - Fire Lane and Driveways
    - Loading Zone (Commercial Sites)
    - Mail Delivery Cluster Sites (Multi-Family)

- Proposed First Floor Elevation
- Dumpster Pad Location
- Proposed Sign Location
- Sight triangle shown
- Commercial Building Plans showing architectural compliance
- Plans to N.C.D.O.T. ( if required)
- NC Engineer/Land Surveyor Seal on Site Plan

\*\*\* The items listed in the Site Plan portion of the above checklist represent information that must be indicated on any site plan submitted for review by the Kill Devil Hills Planning Department, Planning Board, and Board of Commissioners. All of the above required documents shall be submitted on or before the 3rd Tuesday of each month. Upon completion of review, the Planning Board shall transmit its recommendations to the Board of Commissioners. The Board of Commissioners shall review site plans on the second Monday of each month.

Signature of Applicant:  \_\_\_\_\_ 06/19/2023  
(Date)

**KDHWTP, LLC  
P.O. Box 3629  
Kill Devil Hills, NC 27948  
NCUC W-1160**

Willingness to Serve

May 10, 2023

GEMCAP Development, LLC  
418 N. Marshall Street, Suite 201  
Winston-Salem NC 27101

Re: Proposed Sherwin Williams at Parcel Number 029831200 N. Croatan Highway

To whom it may concern:

The Public Utility currently has sufficient sewer capacity available and we are Willing to Serve the above referenced property with 400 gpd of sewer capacity.

This Willing to Serve Letter is conditioned on the following:

1. Completion and certification and receipt of a Bill of Sale and easement to the sewer pump station currently under construction on Dare County Parcel 029831000.
2. The owner of Dare County Parcel 029831200 posting a bond, if any, as required by the North Carolina Utilities Commission.

My best regards,

*Eddie Goodrich*

Eddie Goodrich  
Owner Manager



TOWN OF KILL DEVIL HILLS, NORTH CAROLINA  
**OWNER AUTHORIZATION**

Projects with total construction cost of \$30,000 or less do not require a licensed general contractor (NOTE: any electrical, plumbing or mechanical work necessary for the completion of the project must be performed by an appropriately licensed individual).

I, Paul Williams, GEMCAP Development, authorize Gary Franks  
(Owner) (Agent/ Contractor)

to act as my agent for N. Croatan Hwy Sherwin Williams  
(Description)

located at 1828 N. Croatan Highway  
(Address)

I understand and accept responsibility to comply with all regulations and required inspections.

I further understand and acknowledge that until a final inspection has been performed and approved and this project has received a Certificate of Occupancy/Completion (CO), no portion of this project is authorized for use or occupancy.

Paul Williams

Signature of Owner

June 29, 2023

Date

Gary Franks

Signature of Agent

06/29/2023

Date

1210 Progressive Dr, Suite 201

Address

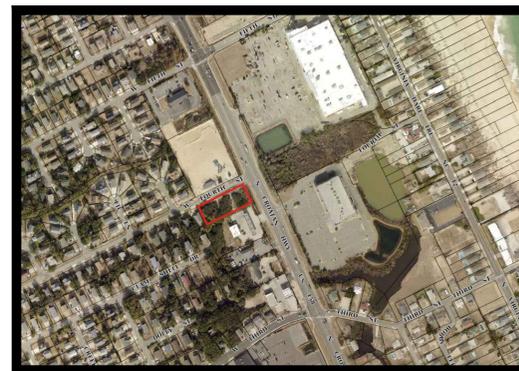
757-908-2372

Telephone # (s)

**OWNER AUTHORIZATION IS REQUIRED AT INITIAL SUBMISSION**

*Please check with you Insurance Agent prior to construction. Your project may affect your flood insurance rates!*

# SITE DEVELOPMENT PLAN for N. CROATAN HIGHWAY SHERWIN WILLIAMS 1828 N. CROATAN HIGHWAY N. CROATAN HWY & 4TH STREET KILL DEVIL HILLS, NC 27948



**VICINITY MAP**  
NTS

BEFORE YOU DIG, TO MISS UTILITIES  
CALL 'MISS UTILITY' OF NORTH CAROLINA.  
TOLL FREE 811

ALL REFERENCES TO THE LOCAL  
MUNICIPALITY SHALL MEAN THE TOWN OF  
KILL DEVIL HILLS.

## ADEQUATE PUBLIC FACILITIES

### STORM WATER MANAGEMENT AND WATER QUALITY IMPACTS: STORM WATER MANAGEMENT

THE TOPOGRAPHY FOR THIS SITE GENERALLY FALLS FROM THE SOUTH TO NORTH TOWARD THE 4TH STREET RIGHT-OF-WAY. BASED UPON USDA WEB SOIL SURVEY INFORMATION AND GEOTECHNICAL REPORT, THE EXISTING SOILS ARE CLASSIFIED AS POORLY GRADED SAND. THE DEVELOPMENT WILL RESULT IN APPROXIMATELY 0.72 AC. OF LAND DISTURBANCE.

A PROPOSED INFILTRATION BASIN WILL BE LOCATED TOWARD THE REAR OF THE PARCEL. THIS BASIN HAS BEEN SIZED TO HOLD THE ENTIRETY OF THE 4.3IN. STORM EVENT WITHOUT DISCHARGING INTO THE PUBLIC INFRASTRUCTURE. AN OUTLET CONTROL STRUCTURE IS ALSO PROVIDED FOR THE INFILTRATION BASIN AND WILL ALLOW WATER TO LEAVE THE BASIN DURING LARGER STORM EVENTS. THE PROPOSED ON-SITE IMPROVEMENTS HAVE BEEN DESIGNED TO ENSURE THAT THE DEVELOPMENT WILL RESULT IN A NET REDUCTION IN THE PEAK FLOWS FROM THE EXISTING CONDITIONS.

THE SCS TR-55 METHOD WAS USED IN CALCULATING PRE AND POST DEVELOPMENT FLOW RATES. DUE TO THE SMALL SCALE OF THE DRAINAGE AREAS AND TIME OF CONCENTRATION FLOW PATHS IT WAS DETERMINED THAT A MINIMUM OF 5 MINUTES WOULD BE USED FOR ALL CALCULATIONS. TABLE 1.0 BELOW PROVIDES A SUMMARY OF THE PRE AND POST DEVELOPMENT RUNOFF RATES FOR THE 2, 10YR(2HR), 10YR(24HR), AND 25 YR STORMS. THE ENTIRETY OF THE 2YR (24HR) AND 10YR(2HR) STORM EVENTS WILL BE RETAINED ON-SITE WITHIN THE PROPOSED INFILTRATION TRENCH. MORE DETAILS STORMWATER CALCULATIONS FOR EACH DRAINAGE AREA ARE INCLUDED IN APPENDIX D OF THIS DOCUMENTS.

| Site Condition   | DA-A              |           |            |      |
|------------------|-------------------|-----------|------------|------|
|                  | Storm Event (cfs) |           |            |      |
|                  | 2yr               | 10yr(2hr) | 10yr(24hr) | 25yr |
| Pre-Development  | 1.83              | 2.38      | 3.25       | 3.85 |
| Post-Development | 0.00              | 0.00      | 0.51       | 1.20 |

### SANITARY SEWER DEMANDS:

THE TOTAL AVERAGE PROPOSED SANITARY SEWER DEMAND IS 400 GPD OR 0.74 GPM. THESE CALCULATIONS ARE AS FOLLOWS:

#### RETAIL

100 GAL/1,000SF = 100 X 4 = 400 GPD  
400 GPD. / 540 MIN. = 0.74 GPM AVERAGE

### WATER METER SIZING:

PER INTERNATIONAL PLUMBING CODE THE PROPOSED BUILDING HAS A TOTAL OF 35.5 WSFU. THIS EQUATES TO A PEAK FLOW OF 25 GPM. BASED ON THIS PEAK FLOWRATE A 3/4" METER IS PROPOSED WITH THIS DEVELOPMENT.

### FIRE FLOW:

BASED ON THE ISO FIRE FLOW COMPUTATIONS THE PROPOSED BUILDING REQUIRES A FIRE FLOW RATE OF 950 GPM. HOWEVER THE MINIMUM REQUIREMENT FOR COMMERCIAL DEVELOPMENT IS 1,500 GPM.

### REFUSE COLLECTION:

PRIVATE CONTRACTOR, A PRIVATE DUMPSTER WILL BE LOCATED ON-SITE

## SITE INFORMATION

|   |   |
|---|---|
| <p><b>OWNER:</b> MIDTOWN DEV CORP<br/>3200 PACIFIC AVE., STE 100<br/>VIRGINIA BEACH, VA 23451</p> <p><b>DEVELOPER:</b> GEMCAP DEVELOPMENT<br/>418 N. MARSHALL STREET, SUITE 201<br/>WINSTON SALEM, NC 27101<br/>CONTACT: BRIAN MOORE<br/>PH#: 336-724-0153</p> <p><b>DESIGNER:</b> DEVELOPMENT SERVICES GROUP<br/>1210 PROGRESSIVE DR., SUITE 201<br/>CHESAPEAKE, VIRGINIA 23320<br/>CONTACT: GARY FRANKS<br/>PH# 757-908-2372</p> <p><b>LOCATION:</b> SW CORNER OF N. CROATAN HIGHWAY AND W. 4TH STREET IN KILL DEVIL HILLS, NC</p> <p><b>CURRENT ZONING:</b> C - COMMERCIAL</p> <p><b>PARCEL #:</b> 029831200</p> <p><b>PIN #:</b> 988406289382</p> <p><b>TAX DISTRICT:</b> KILL DEVIL HILLS</p> <p><b>SUBDIVISION:</b> WRIGHT'S SHORES</p> | <p><b>ADJACENT ZONING:</b> NORTH R/W (4TH STREET), C-COMMERCIAL<br/>EAST C-COMMERCIAL<br/>WEST RL-RESIDENTIAL<br/>SOUTH C-COMMERCIAL</p> <p><b>EXISTING LAND USE:</b> THE AFFECTED PROPERTY IS CURRENTLY UNDEVELOPED</p> <p><b>PROPOSED LAND USE:</b> COMMERCIAL - RETAIL BUSINESS (N)</p> <p><b>SOIL TYPE:</b> PER THE USDA WEB SOIL SURVEY THE SOILS ARE CLASSIFIED AS COROLLA FINE SAND AND DUCKSTON FINE SAND.</p> <p><b>FLOOD INFORMATION:</b> THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X, PER FEMA MAP PANEL NO. 3720988400K EFFECTIVE JUNE 19, 2020.</p> <p>REGULATORY FLOOD PROTECTION ELEVATION (RFPE) IN SHADED X AND X ZONES WEST OF NC12, THE RFPE IS 8' NAVD 1988 OR THE NATURAL GRADE ELEVATION IF THE NATURAL GRADE ELEVATION IS GREATER THAN 8' NAVD 1988. ALL ELEVATIONS REFERENCED TO NAVD 1988.</p> <p><b>BUILDING HEIGHT:</b> 25' FEET± (1 STORY BUILDING)</p> <p><b>PROPOSED BUILDING AREA:</b> 4,000 SF</p> <p><b>PROPOSED PARCEL AREA:</b> 31,228 SF± OR 0.72 ACRES ±</p> <p><b>DISTURBED AREA:</b> 32,028 SF± OR 0.74 ACRES ±</p> <p><b>TOTAL LOT COVERAGE:</b> 13,313 SF± (43% ±)</p> |
|---|---|

## SITE TABULATIONS

| <p><b>EXISTING CONDITIONS:</b></p> <table border="1"> <thead> <tr> <th>ITEM:</th> <th>AREA (SF)</th> <th>% USE</th> </tr> </thead> <tbody> <tr> <td>IMPERVIOUS BUILDING</td> <td>0</td> <td>0.0%</td> </tr> <tr> <td>CONCRETE</td> <td>0</td> <td>0.0%</td> </tr> <tr> <td>ASPHALT</td> <td>0</td> <td>0.0%</td> </tr> <tr> <td>GRAVEL</td> <td>0</td> <td>0.0%</td> </tr> <tr> <td><b>SUB-TOTAL</b></td> <td><b>0</b></td> <td><b>0.0%</b></td> </tr> <tr> <td>PERVIOUS OPEN SPACE</td> <td>32,028</td> <td>100.0%</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>32,028</b></td> <td><b>100.0%</b></td> </tr> </tbody> </table> <p><b>BUILDING SETBACKS:</b></p> <table border="1"> <thead> <tr> <th></th> <th>FRONT</th> <th>REAR</th> <th>SIDE(NORTH) SIDE</th> <th>15'</th> <th>10'</th> </tr> </thead> <tbody> <tr> <td></td> <td>30'</td> <td>10'</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p><b>PARKING REQUIREMENTS:</b></p> <table border="1"> <thead> <tr> <th>HANDICAP SPACES</th> <th>1/1</th> <th>PARKING SPACES</th> <th>20</th> <th>REQUIRED (1/200SF)</th> <th>20</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table> | ITEM:         | AREA (SF)      | % USE            | IMPERVIOUS BUILDING | 0   | 0.0% | CONCRETE | 0 | 0.0% | ASPHALT | 0 | 0.0% | GRAVEL | 0 | 0.0% | <b>SUB-TOTAL</b> | <b>0</b> | <b>0.0%</b> | PERVIOUS OPEN SPACE | 32,028 | 100.0% | <b>TOTAL</b> | <b>32,028</b> | <b>100.0%</b> |  | FRONT | REAR | SIDE(NORTH) SIDE | 15' | 10' |  | 30' | 10' |  |  |  | HANDICAP SPACES | 1/1 | PARKING SPACES | 20 | REQUIRED (1/200SF) | 20 |  |  |  |  |  |  | <p><b>PROPOSED CONDITIONS:</b></p> <table border="1"> <thead> <tr> <th>ITEM:</th> <th>AREA (SF)</th> <th>% USE</th> </tr> </thead> <tbody> <tr> <td>IMPERVIOUS BUILDING</td> <td>4,000</td> <td>12.5%</td> </tr> <tr> <td>CONCRETE</td> <td>7,280</td> <td>22.7%</td> </tr> <tr> <td>ASPHALT</td> <td>7,435</td> <td>23.2%</td> </tr> <tr> <td>GRAVEL</td> <td>0</td> <td>0.0%</td> </tr> <tr> <td><b>SUB-TOTAL</b></td> <td><b>18,715</b></td> <td><b>58.4%</b></td> </tr> <tr> <td>PERVIOUS PERVIOUS CONCRETE</td> <td>0</td> <td>0.0%</td> </tr> <tr> <td>OPEN SPACE</td> <td>13,313</td> <td>41.6%</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>32,028</b></td> <td><b>100.0%</b></td> </tr> </tbody> </table> | ITEM: | AREA (SF) | % USE | IMPERVIOUS BUILDING | 4,000 | 12.5% | CONCRETE | 7,280 | 22.7% | ASPHALT | 7,435 | 23.2% | GRAVEL | 0 | 0.0% | <b>SUB-TOTAL</b> | <b>18,715</b> | <b>58.4%</b> | PERVIOUS PERVIOUS CONCRETE | 0 | 0.0% | OPEN SPACE | 13,313 | 41.6% | <b>TOTAL</b> | <b>32,028</b> | <b>100.0%</b> |
|---|---------------|----------------|------------------|---------------------|-----|------|----------|---|------|---------|---|------|--------|---|------|------------------|----------|-------------|---------------------|--------|--------|--------------|---------------|---------------|--|-------|------|------------------|-----|-----|--|-----|-----|--|--|--|-----------------|-----|----------------|----|--------------------|----|--|--|--|--|--|--|--|-------|-----------|-------|---------------------|-------|-------|----------|-------|-------|---------|-------|-------|--------|---|------|------------------|---------------|--------------|----------------------------|---|------|------------|--------|-------|--------------|---------------|---------------|
| ITEM:   | AREA (SF)     | % USE          |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| IMPERVIOUS BUILDING   | 0             | 0.0%           |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| CONCRETE  | 0             | 0.0%           |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| ASPHALT   | 0             | 0.0%           |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| GRAVEL  | 0             | 0.0%           |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| <b>SUB-TOTAL</b>  | <b>0</b>      | <b>0.0%</b>    |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| PERVIOUS OPEN SPACE   | 32,028        | 100.0%         |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| <b>TOTAL</b>  | <b>32,028</b> | <b>100.0%</b>  |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
|   | FRONT         | REAR           | SIDE(NORTH) SIDE | 15'                 | 10' |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
|   | 30'           | 10'            |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| HANDICAP SPACES   | 1/1           | PARKING SPACES | 20               | REQUIRED (1/200SF)  | 20  |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
|   |               |                |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| ITEM:   | AREA (SF)     | % USE          |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| IMPERVIOUS BUILDING   | 4,000         | 12.5%          |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| CONCRETE  | 7,280         | 22.7%          |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| ASPHALT   | 7,435         | 23.2%          |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| GRAVEL  | 0             | 0.0%           |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| <b>SUB-TOTAL</b>  | <b>18,715</b> | <b>58.4%</b>   |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| PERVIOUS PERVIOUS CONCRETE  | 0             | 0.0%           |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| OPEN SPACE  | 13,313        | 41.6%          |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |
| <b>TOTAL</b>  | <b>32,028</b> | <b>100.0%</b>  |                  |                     |     |      |          |   |      |         |   |      |        |   |      |                  |          |             |                     |        |        |              |               |               |  |       |      |                  |     |     |  |     |     |  |  |  |                 |     |                |    |                    |    |  |  |  |  |  |  |  |       |           |       |                     |       |       |          |       |       |         |       |       |        |   |      |                  |               |              |                            |   |      |            |        |       |              |               |               |

## SHEET INDEX

| SHEET    | DESCRIPTION                    |
|----------|--------------------------------|
| CV-1.0   | COVER SHEET AND INDEX          |
| CX-2.0   | EXISTING CONDITIONS            |
| CES-3.0  | E&S CONTRAOL & DEMOLITION PLAN |
| CL-5.0   | LAYOUT PLAN                    |
| CU-6.0   | UTILITY PLAN                   |
| CG-7.0   | GRADING AND PHASE II E&S PLAN  |
| CG-7.1   | EXISTING DRAINAGE AREA PLAN    |
| CG-7.2   | PROPOSED DRAINAGE AREA PLAN    |
| LA-8.0   | LANDSCAPE PLAN                 |
| LT-9.0   | LIGHTING PLAN                  |
| CDT-10.0 | MISC NOTES & DETAILS           |
| CDT-10.1 | MISC NOTES & DETAILS           |
| CDT-10.2 | MISC NOTES & DETAILS           |

| REV. | DESCRIPTION               | DATE     |
|------|---------------------------|----------|
| 1    | REVISED PER TOWN COMMENTS | 07/05/23 |
| 2    | REVISED PER TOWN COMMENTS | 07/24/23 |
| 3    |                           |          |
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DRAWN BY: GF  
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PROJECT NAME/LOCATION ID  
KDH SHERWIN WILLIAMS  
SHEET TITLE  
COVER SHEET AND INDEX  
PROJECT LOCATION  
1828 N. CROATAN HWY  
KILL DEVIL HILLS, NC  
PARCEL #  
029831200

CV-1.0

CONCEPT PLAN

FILE NAME: P:\2022-demcap\2022.04-4th Street and Croatan Hwy\Card\Croatan Hwy - RDH NC 01-CV-1.0 Cover.dwg PLOTTED: Monday, July 24, 2023 8:58am LAYOUT NAME: COVER SHEET

**GENERAL SURVEY NOTES:**

- THIS SURVEY WAS PRODUCED BY TSC SURVEYING, PLLC, FOR DEVELOPMENT SERVICES GROUP INC.
- THIS SURVEY WAS BASED ON A COMMITMENT OF TITLE PROVIDED BY INVESTORS TITLE INSURANCE COMPANY. SAID STATUS OF TITLE HAVING THE FOLLOWING FILE AND DATE INFORMATION:  
ORDER (COMMITMENT) NUMBER: 202310023CA  
EFFECTIVE DATE: 01/04/2023, AT 5:00PM
- THE BOUNDARY LINES SHOWN ARE BASED ON A CURRENT FIELD BOUNDARY SURVEY.
- THIS SURVEY IS NOT INTENDED TO SHOW ALL UNDERGROUND UTILITY FEATURES. IT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO CONTACT MISS UTILITY BEFORE ANY EXCAVATION OR OTHER EARTH MOVING WORK.

CHESAPEAKE BAY PRESERVATION AREA

**ABBREVIATIONS**

|           |        |                              |
|-----------|--------|------------------------------|
| CBPA: RPA | APPROX | APPROXIMATELY                |
| CBPA: RMA | BLDG   | BUILDING                     |
|           | CONC   | CONCRETE                     |
|           | D.B.   | DEED BOOK                    |
|           | GPIN   | GEOREFERENCED PARCEL         |
|           |        | IDENTIFICATION NUMBER        |
|           |        | HIGH ACCURACY                |
|           |        | REFERENCE NETWORK            |
|           | INST.  | INSTRUMENT                   |
|           | INV    | INVERT                       |
|           | M.B.   | MAP BOOK                     |
|           | NF     | NAIL FOUND                   |
|           | N/F    | NOW OR FORMERLY              |
|           | PG.    | PAGE                         |
|           | PIN    | PARCEL IDENTIFICATION NUMBER |
|           | S.F.   | SQUARE FEET                  |

**PIN FLAGS**

- BP# PIN FLAG: BLUE
- RP# PIN FLAG: RED
- OP# PIN FLAG: ORANGE
- YP# PIN FLAG: YELLOW

**LINES**

- BUILDING: OVERHANG
- BUILDING: WALLS
- CONTOUR (1 FOOT INTERVALS)
- DITCH: CENTERLINE
- DITCH: TOP OF BANK
- DITCH: TOE OF SLOPE
- FLOOD ZONE LINE
- LANDSCAPING: EDGE
- PAVEMENT: ASPHALT EDGE
- PAVEMENT: GRAVEL
- VEGETATION: DRIPLINE

**GRADE LEGEND**

- CENTERLINE
- FACE OF CURB
- FLOWLINE
- TOP OF BANK
- TOP OF CURB
- TOE OF SLOPE

**COMMUNICATIONS**

- CMH# COMMUNICATIONS: HAND HOLE
- CPED# COMMUNICATIONS: PEDESTAL
- CMH# COMMUNICATIONS: MANHOLE
- COMMUNICATIONS: UNDERGROUND

**CONTROL**

- TP# CONTROL: TRAVERSE POINT
- TBM CONTROL: TEMPORARY BENCHMARK

**FENCES**

- SF FENCE: SILT FENCE
- X FENCE: VINYL
- FENCE: WOODEN
- FENCE: METAL

**GAS**

- GM# GAS: METER
- GV# GAS: VALVE
- GAS: UNDERGROUND PIPES

**POWER**

- LP# POWER: LIGHT POLE
- LP# POWER: CONDUIT
- LP# POWER: LIGHT POLE: SINGLE ARM
- LP# POWER: LIGHT POLE: SINGLE BOX
- EP# POWER: TRANSFORMER
- EP# POWER: ELECTRIC PEDESTAL
- UP# POWER: GUY WIRE
- UP# POWER: UTILITY POLE
- UP# POWER: UTILITY POLE WITH LIGHT
- EH# POWER: ELECTRIC HANDHOLE
- EH# POWER: OVERHEAD LINES
- EH# POWER: UNDERGROUND

**PROPERTY**

- DHF# PROPERTY: DRILL HOLE FOUND
- DHS# PROPERTY: DRILL HOLE SET
- IRF# PROPERTY: IRON ROD FOUND
- IRS# PROPERTY: IRON ROD SET
- NF# PROPERTY: NAIL FOUND
- IPF# PROPERTY: IRON PIPE FOUND
- PPF# PROPERTY: PINCHED PIPE FOUND
- VDH# PROPERTY: VDOT MONUMENT
- PROPERTY: BOUNDARY
- PROPERTY: ADJACENT BOUNDARY
- PROPERTY: EASEMENT

**SANITARY**

- SSMH# SANITARY: MANHOLE
- CO# SANITARY: CLEANOUT
- SANITARY: PIPES
- SANITARY: FORCE MAIN

**SITE**

- SIGN
- BOLLARD

**STORM**

- SDMH# STORM: MANHOLE
- CDI# STORM: CURB DROP INLET
- CB# STORM: CATCH BASIN
- RD# STORM: ROOF DRAIN
- RD# STORM: PIPES

**TRAFFIC**

- TRH# TRAFFIC: BOX
- TRPED# TRAFFIC: PEDESTAL
- TRM# TRAFFIC: MANHOLE

**WATER**

- WV# WATER: VALVE
- WM# WATER: METER
- IRR# WATER: IRRIGATION
- FH# WATER: FIRE HYDRANT
- SPIGOT WATER: SPIGOT
- FDC# WATER: FIRE DEPARTMENT CONNECTION
- PV# WATER: POST INDICATOR VALVE
- WATER: UNDERGROUND PIPES

| REV. | DESCRIPTION               | DATE     |
|------|---------------------------|----------|
| 1    | REVISED PER TOWN COMMENTS | 07/05/23 |
| 2    | REVISED PER TOWN COMMENTS | 07/24/23 |
| 3    |                           |          |
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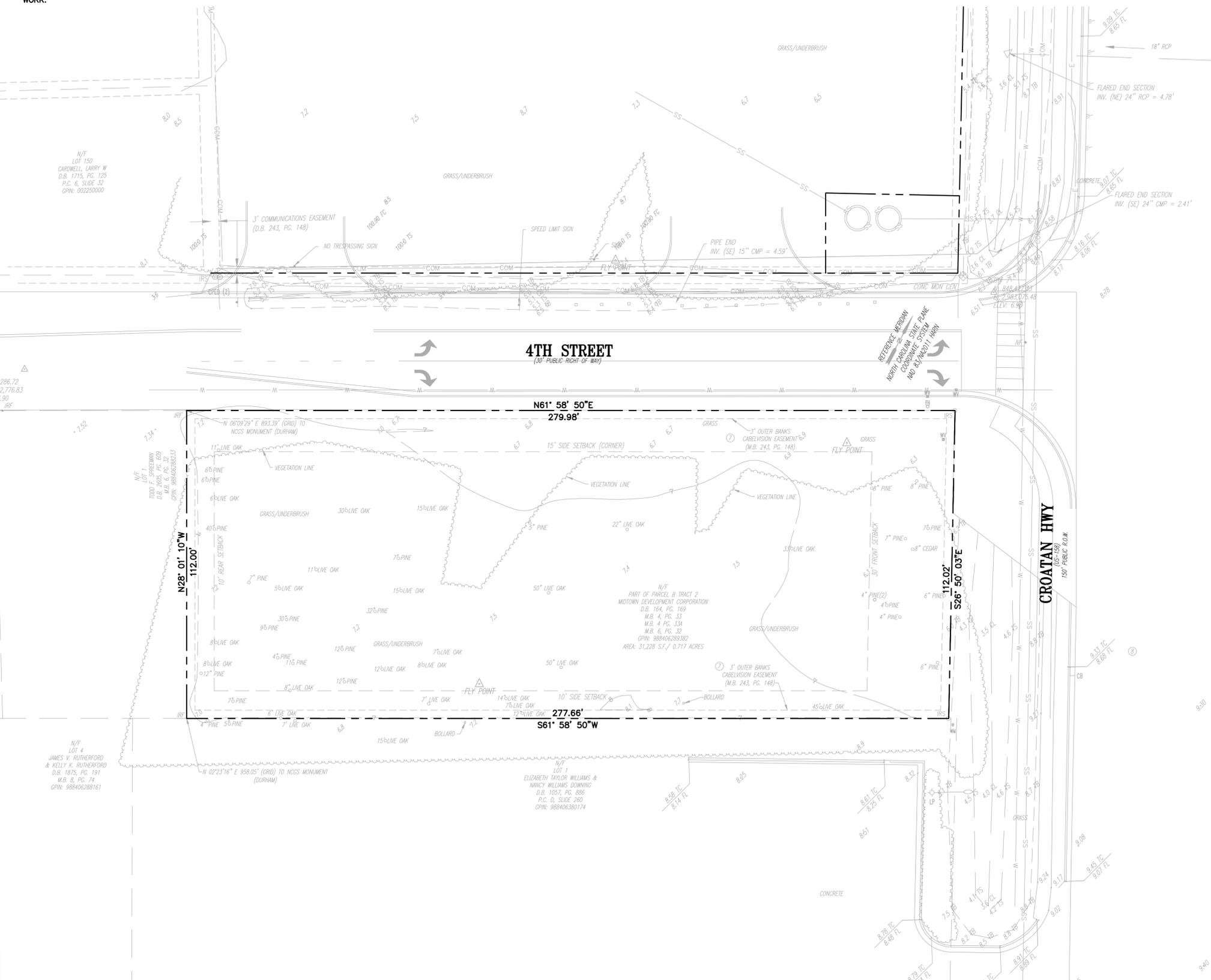
DESIGNED BY: GF  
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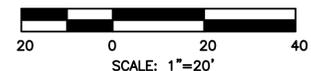
PROJECT NAME/LOCATION ID: KDH SHERWIN WILLIAMS  
SHEET TITLE: EXISTING CONDITIONS  
PROJECT LOCATION: 1828 N. CROATAN HWY KILL DEVIL HILLS, NC  
PARCEL # 029831200

CX-2.0  
CONCEPT PLAN



Know what's below.  
Call before you dig.

**DRAWING SCALE**



FILE NAME: P:\2022-demarc\2022.04-4th Street and Croatan Hwy\cad\Croatan Hwy - KDH NC 02-CX-2.0 Existing Conditions.dwg LAYOUT NAME: E:stat. PLOTTED: Monday, July 24, 2023 8:58am



6.06

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**

**Definition** A gravelled area or pad located at points where vehicles enter and leave a construction site.

**Purpose** To provide a buffer area where vehicles can drop their mud and sediment to avoid transporting it onto public roads, to control erosion from surface runoff, and to help control dust.

**Conditions Where Practice Applies** Whenever traffic will be leaving a construction site and moving directly onto a public road or other paved off-site area. Construction plans should limit traffic to properly constructed entrances.

**Design Criteria** Aggregate Size—Use 2-3 inch washed stone.

**Dimensions of gravel pad—**  
 Thickness: 6 inches minimum  
 Width: 12-foot minimum or full width at all points of the vehicular entrance and exit area, whichever is greater  
 Length: 50-foot minimum

**Location**—Locate construction entrances and exits to limit sediment from leaving the site and to provide for maximum utility by all construction vehicles (Figure 6.06a). Avoid steep grades, and entrances at curves in public roads.

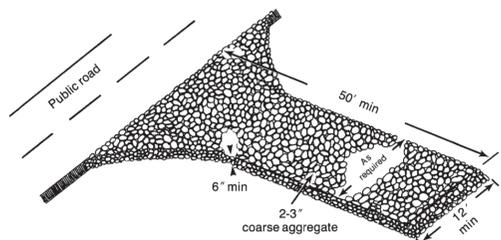


Figure 6.06a Gravel entrance/exit keeps sediment from leaving the construction site (modified from Va SWCC).

6.06.1

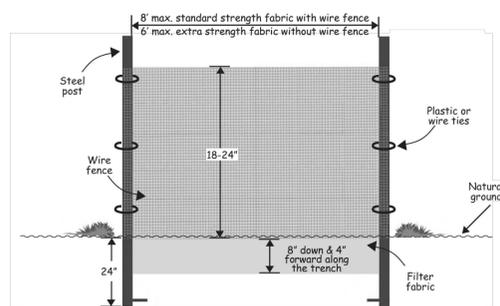


Figure 6.62a Installation detail of a sediment fence.

Rev. 5/13

6.62.5

6.05

**TREE PROTECTION**

**Definition** Practices to preserve and protect desirable trees from damage during project development.

**Purpose** To preserve and protect trees that have present or future value for their use in protection from erosion, for their landscape and aesthetic value, or for other environmental benefits.



Figure 6.05a Tree protection zone. A protected zone preserves roots and soil and keeps branches clear of contact with construction equipment and materials.

**Conditions Where Practice Applies** On development sites containing trees or stands of trees.

**Planning Considerations** Conserving the right trees can reap rewards for developers, homeowners, and communities. Healthy trees enhance property values and community development by providing shade, wildlife habitat, and beauty. Sickly, stressed trees reduce property values, discourage potential buyers and detract from a community. Post-construction maintenance and removal of trees is difficult and expensive. Replacing trees after construction can also be costly and time consuming.

Rev. 5/08

6.05.1

6

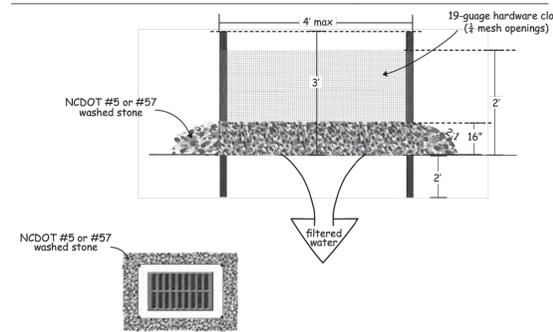


Figure 6.51a Hardware cloth and gravel inlet protection

- Construction Specifications**
1. Uniformly grade a shallow depression approaching the inlet.
  2. Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 4 feet apart.
  3. Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Placing a 2-foot flap of the wire mesh under the gravel for anchoring is recommended.
  4. Place clean gravel (NC DOT #5 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
  5. Once the contributing drainage area has been stabilized, remove accumulated sediment, and establish final grading elevations.
  6. Compact the area properly and stabilize it with groundcover.

**Maintenance** Inspect inlets at least weekly and after each significant (1/2 inch or greater) rainfall event. Clear the mesh wire of any debris or other objects to provide adequate flow for subsequent rains. Take care not to damage or undercut the wire mesh during sediment removal. Replace stone as needed.

- References**
- Inlet Protection
  - 6.52, Block and Gravel Inlet Protection
  - 6.54, Rock Doughnut Inlet Protection
- North Carolina Department of Transportation  
 Standard Specifications for Roads and Structures

6.51.2

Rev. 6/06

|             |                           |                           |
|-------------|---------------------------|---------------------------|
| DATE        | 07/05/23                  | 07/24/23                  |
| DESCRIPTION | REVISED PER TOWN COMMENTS | REVISED PER TOWN COMMENTS |
| REV.        | 1                         | 2                         |
| NO.         | 1                         | 2                         |
| DATE        | 07/05/23                  | 07/24/23                  |

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|                          |   |
|--------------------------|---|
| PROJECT NAME/LOCATION ID | KDH SHERWIN WILLIAMS                        |
| SHEET TITLE              | E&S CONTROL DETAILS                         |
| PROJECT LOCATION         | 1828 N. CROATAN HWY<br>KILL DEVIL HILLS, NC |
| PARCEL #                 | 029831200                                   |

CES-3.1  
 CONCEPT PLAN

6

**Table 6.10c**  
 Temporary Seeding Recommendations for Fall

| Seeding mixture        | Rate (lb/acre) |
|------------------------|----------------|
| Species<br>Rye (grain) | 120            |

**Seeding dates**  
 Mountains—Aug. 15 - Dec. 15  
 Coastal Plain and Piedmont—Aug. 15 - Dec. 30

**Soil amendments**  
 Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.

**Mulch**  
 Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**Maintenance**  
 Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extent temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

**Table 6.10b**  
 Temporary Seeding Recommendations for Summer

| Seeding mixture          | Rate (lb/acre) |
|--------------------------|----------------|
| Species<br>German millet | 40             |

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

**Seeding dates**  
 Mountains—May 15 - Aug. 15  
 Piedmont—May 1 - Aug. 15  
 Coastal Plain—Apr. 15 - Aug. 15

**Soil amendments**  
 Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

**Mulch**  
 Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**Maintenance**  
 Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

6.10.5

6

**Table 6.10a**  
 Temporary Seeding Recommendations for Late Winter and Early Spring

| Seeding mixture  | Rate (lb/acre) |
|--|----------------|
| Species<br>Rye (grain)   | 120            |
| Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) | 50             |

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

**Seeding dates**  
 Mountains—Above 2500 feet: Feb. 15 - May 15  
 Below 2500 feet: Feb. 1 - May 1  
 Piedmont—Jan. 1 - May 1  
 Coastal Plain—Dec. 1 - Apr. 15

**Soil amendments**  
 Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

**Mulch**  
 Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

**Maintenance**  
 Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

6.10.4

6.10.6

FILE NAME: P:\2022-Remcap\2022-04-4th Street and Croatan Hwy\Cad\Croatan Hwy - KDH - NC 04-CES-3.1 E&S.dwg LAYOUT NAME: COVER SHEET PLOTTED: Monday, July 24, 2023 8:59am

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

| Required Ground Stabilization Timeframes                   |   |   |
|--|---|---|
| Site Area Description                                      | Stabilize within this many calendar days after ceasing land disturbance | Timeframe variations  |
| (a) Perimeter dikes, swales, ditches, and perimeter slopes | 7   | None  |
| (b) High Quality Water (HQW) Zones                         | 7   | None  |
| (c) Slopes steeper than 3:1                                | 7   | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed   |
| (d) Slopes 3:1 to 4:1                                      | 14  | -7 days for slopes greater than 50' in length and with slopes steeper than 4:1<br>-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones<br>-10 days for Falls Lake Watershed |
| (e) Areas with slopes flatter than 4:1                     | 14  | -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones<br>-10 days for Falls Lake Watershed unless there is zero slope  |

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

| Temporary Stabilization   | Permanent Stabilization  |
|---|--|
| <ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Rolled erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul> | <ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Rolled erosion control products with grass seed</li> </ul> |

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

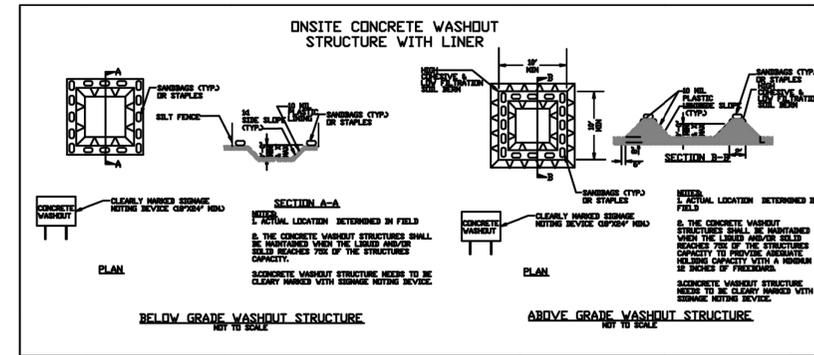
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

|   |   |
|---|---|
| DATE  | 07/05/23                                    |
| REVISED PER TOWN COMMENTS   | 07/24/23                                    |
| DESCRIPTION   |   |
| REV.  | 1 2 3 4 5 6 7 8 9 10 11                     |
|   |   |
| DESIGNED BY: GF<br>DRAWN BY: GF<br>REVIEWED BY:   |   |
| DSG INC. USA, PLLC<br>1210 PROGRESSIVE DR.<br>CHESAPEAKE VA, 23320<br>PH#: 757-472-2719<br>EMAIL: GFRANKS@DSGVA.COM<br>WWW: DSGINCORPORATED.COM |   |
|   |   |
| PROJECT NAME/LOCATION ID  | KDH SHERWIN WILLIAMS                        |
| SHEET TITLE   | E&S CONTROL DETAILS                         |
| PARCEL #  | 029831200                                   |
| PROJECT LOCATION  | 1828 N. CROATAN HWY<br>KILL DEVIL HILLS, NC |
| <b>CES-3.2</b><br>CONCEPT PLAN  |   |

FILE NAME: P:\2022-Remcap\2022-04-4th Street and Croatan Hwy\Card\Croatan Hwy - RDH NC 05-CES-3.2 E&S.dwg LAYOUT NAME: COVER SHEET PLOTTED: Monday, July 24, 2023 - 8:59am

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

| Inspect  | Frequency (during normal business hours)  | Inspection records must include:   |
|--|---|--|
| (1) Rain gauge maintained in good working order              | Daily   | Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division. |
| (2) E&SC Measures  | At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours | 1. Identification of the measures inspected,<br>2. Date and time of the inspection,<br>3. Name of the person performing the inspection,<br>4. Indication of whether the measures were operating properly,<br>5. Description of maintenance needs for the measure,<br>6. Description, evidence, and date of corrective actions taken.   |
| (3) Stormwater discharge outfalls (SDCs)                     | At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours | 1. Identification of the discharge outfalls inspected,<br>2. Date and time of the inspection,<br>3. Name of the person performing the inspection,<br>4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration,<br>5. Indication of visible sediment leaving the site,<br>6. Description, evidence, and date of corrective actions taken.   |
| (4) Perimeter of site  | At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours | If visible sedimentation is found outside site limits, then a record of the following shall be made:<br>1. Actions taken to clean up or stabilize the sediment that has left the site limits,<br>2. Description, evidence, and date of corrective actions taken, and<br>3. An explanation as to the actions taken to control future releases.  |
| (5) Streams or wetlands onsite or offsite (where accessible) | At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours | If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made:<br>1. Description, evidence and date of corrective actions taken, and<br>2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.  |
| (6) Ground stabilization measures                            | After each phase of grading   | 1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover).<br>2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.               |

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&SC Plan Documentation**

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

| Item to Document  | Documentation Requirements  |
|---|---|
| (a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan. | Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation. |
| (b) A phase of grading has been completed.  | Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.   |
| (c) Ground cover is located and installed in accordance with the approved E&SC plan.  | Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.   |
| (d) The maintenance and repair requirements for all E&SC measures have been performed.  | Complete, date and sign an inspection report.   |
| (e) Corrective actions have been taken to E&SC measures.  | Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.  |

**2. Additional Documentation to be Kept on Site**

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III  
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that Must be Reported**

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

| Occurrence   | Reporting Timeframes (After Discovery) and Other Requirements  |
|--|--|
| (a) Visible sediment deposition in a stream or wetland   | <ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>• If the stream is named on the <a href="#">NC 303(d) list</a> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul> |
| (b) Oil spills and release of hazardous substances per Item 1(b)-(c) above   | <ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>  |
| (c) Anticipated bypasses [40 CFR 122.41(m)(3)]   | <ul style="list-style-type: none"> <li>• <b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>  |
| (d) Unanticipated bypasses [40 CFR 122.41(m)(3)]   | <ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>  |
| (e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)] | <ul style="list-style-type: none"> <li>• <b>Within 24 hours</b>, an oral or electronic notification.</li> <li>• <b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6).</li> <li>• Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>  |



**PART II, SECTION G, ITEM (4)  
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

EFFECTIVE: 04/01/19

|  |   |
|--|---|
| DATE   | 07/05/23                                    |
| REVISED PER TOWN COMMENTS  | 07/24/23                                    |
| DESCRIPTION  |   |
| REV.   | 1 2 3 4 5 6 7 8 9 10 11                     |
|  |   |
|  |   |
| DESIGNED BY:   | GF  |
| DRAWN BY:  | GF  |
| REVIEWED BY:   |   |
| DSG INC. USA, PLLC<br>1210 PROGRESSIVE DR.<br>CHESAPEAKE VA, 23320<br>PH#: 757-472-2719<br>EMAIL: GFRANKS@DSGVA.COM<br>WWW.DSGINCORPORATED.COM |   |
|  |   |
| PROJECT NAME/LOCATION ID   | KDH SHERWIN WILLIAMS                        |
| SHEET TITLE  | E&S CONTROL DETAILS                         |
| PROJECT LOCATION   | 1828 N. CROATAN HWY<br>KILL DEVIL HILLS, NC |
| PARCEL #   | 029831200                                   |
| <b>CES-3.3</b><br>CONCEPT PLAN   |   |

FILE NAME: P:\2022-Remcap\2022\_04-4th Street and Croatan Hwy\Cap\Croatan Hwy\Cap SHEET PLOTTED: Monday, July 24, 2023 - 8:59am LAYOUT NAME: COVER SHEET PLOT: E&S.dwg -3.3 E&S.dwg

**SITE INFORMATION**

**OWNER:** MIDTOWN DEV CORP  
3200 PACIFIC AVE., STE 100  
VIRGINIA BEACH, VA 23451

**DEVELOPER:** GEMCAP DEVELOPMENT  
418 N. MARSHALL STREET, SUITE 201  
WINSTON SALEM, NC 27101  
CONTACT: BRIAN MOORE  
PH#: 336-724-0153

**DESIGNER:** DEVELOPMENT SERVICES GROUP  
1210 PROGRESSIVE DR., SUITE 101  
CHESAPEAKE, VIRGINIA 23320  
CONTACT: GARY FRANKS  
PH#: 757-908-2372

**LOCATION:** SW CORNER OF N. CROATAN HIGHWAY AND W. 4TH STREET IN KILL DEVIL HILLS, NC

**CURRENT ZONING:** C - COMMERCIAL

**PARCEL #:** 029831200

**PIN #:** 988406289382

**TAX DISTRICT:** KILL DEVIL HILLS

**SUBDIVISION:** WRIGHT'S SHORES

**ADJACENT ZONING:** NORTH R/W (4TH STREET), C-COMMERCIAL  
EAST C-COMMERCIAL  
WEST RL-RESIDENTIAL  
SOUTH C-COMMERCIAL

**EXISTING LAND USE:** THE AFFECTED PROPERTY IS CURRENTLY UNDEVELOPED

**PROPOSED LAND USE:** COMMERCIAL - RETAIL BUSINESS (N)

**SOIL TYPE:** PER THE USDA WEB SOIL SURVEY THE SOILS ARE CLASSIFIED AS COROLLA FINE SAND AND DUCKSTON FINE SAND.

**FLOOD INFORMATION:** THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X, PER FEMA MAP PANEL NO. 3720988400K EFFECTIVE JUNE 19, 2020.

**REGULATORY FLOOD PROTECTION ELEVATION (RFPE) IN SHADED X AND X ZONES WEST OF NC12, THE RFPE IS 8' NAVD 1988 OR THE NATURAL GRADE ELEVATION IF THE NATURAL GRADE ELEVATION IS GREATER THAN 8' NAVD 1988. ALL ELEVATIONS REFERENCED TO NAVD 1988.**

**BUILDING HEIGHT:** 25' FEET± (1 STORY BUILDING)

**PROPOSED BUILDING AREA:** 4,000 SF

**PROPOSED PARCEL AREA:** 31,228 SF± OR 0.72 ACRES ±

**DISTURBED AREA:** 32,028 SF± OR 0.74 ACRES ±

**TOTAL LOT COVERAGE:** 13,313 SF± (43% ±)

**SITE TABULATIONS**

| EXISTING CONDITIONS: |               |               | PROPOSED CONDITIONS:       |               |               |
|----------------------|---------------|---------------|----------------------------|---------------|---------------|
| ITEM:                | AREA (SF)     | % USE         | ITEM:                      | AREA (SF)     | % USE         |
| IMPERVIOUS BUILDING  | 0             | 0.0%          | IMPERVIOUS BUILDING        | 4,000         | 12.5%         |
| CONCRETE             | 0             | 0.0%          | CONCRETE                   | 7,280         | 22.7%         |
| ASPHALT              | 0             | 0.0%          | ASPHALT                    | 7,435         | 23.2%         |
| GRAVEL               | 0             | 0.0%          | GRAVEL                     | 0             | 0.0%          |
| <b>SUB-TOTAL</b>     | <b>0</b>      | <b>0.0%</b>   | <b>SUB-TOTAL</b>           | <b>18,715</b> | <b>58.4%</b>  |
| PERVIOUS OPEN SPACE  | 32,028        | 100.0%        | PERVIOUS PERVIOUS CONCRETE | 0             | 0.0%          |
| <b>TOTAL</b>         | <b>32,028</b> | <b>100.0%</b> | <b>OPEN SPACE</b>          | <b>13,313</b> | <b>41.6%</b>  |
|                      |               |               | <b>TOTAL</b>               | <b>32,028</b> | <b>100.0%</b> |

| BUILDING SETBACKS: |     |             |     |
|--------------------|-----|-------------|-----|
| FRONT              | 30' | SIDE(NORTH) | 15' |
| REAR               | 10' | SIDE        | 10' |

| PARKING REQUIREMENTS: |     |                    |    |
|-----------------------|-----|--------------------|----|
| HANDICAP SPACES       | 1/1 | PARKING SPACES     | 20 |
|                       |     | REQUIRED (1/200SF) | 20 |
|                       |     | PARKING SPACES     | 20 |
|                       |     | PROPOSED           | 20 |

**LAYOUT GENERAL NOTES:**

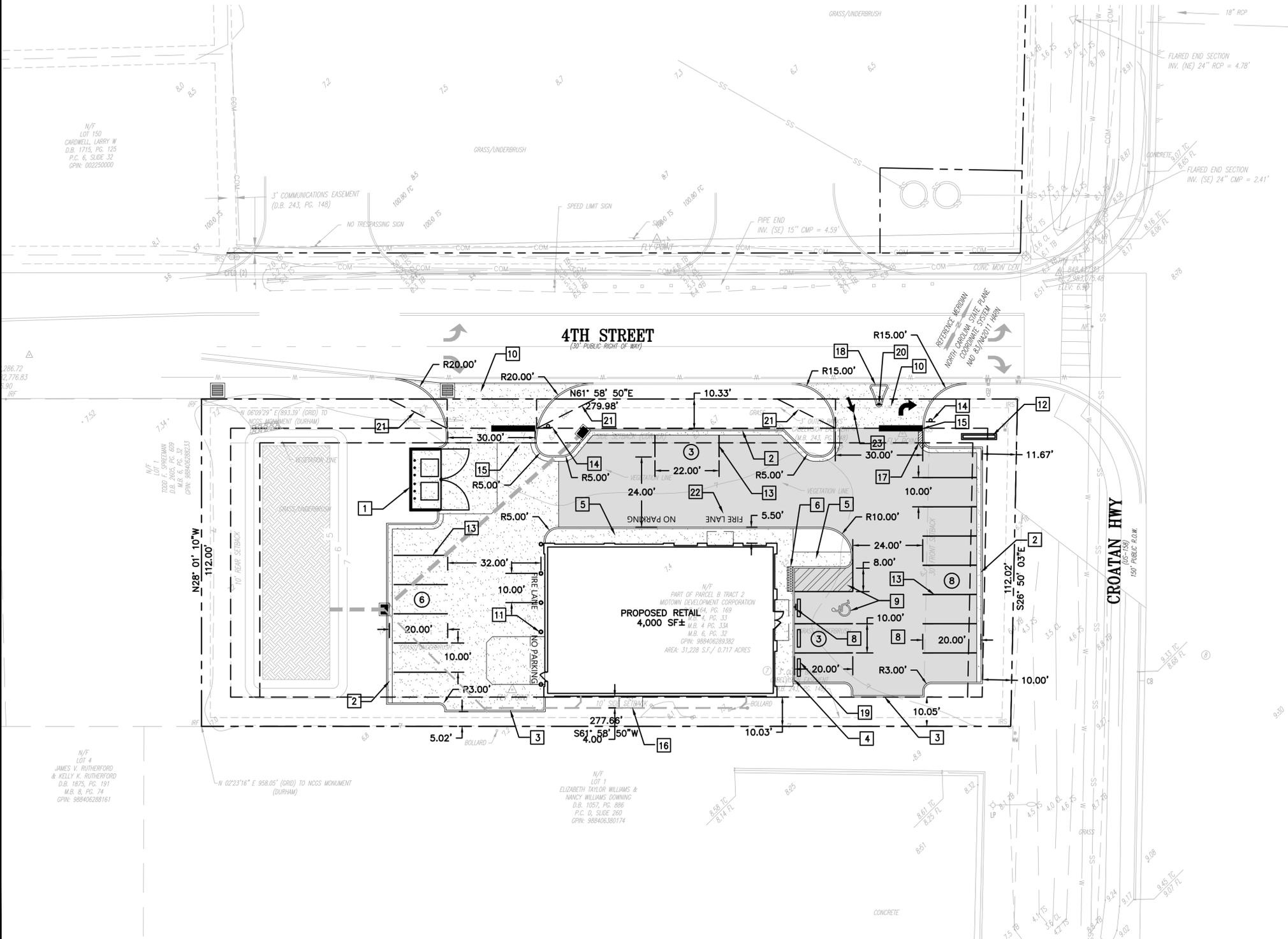
- BUILDING DIMENSIONS** - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR ALL BUILDING DETAILS AND DIMENSIONS.
- CONSTRUCTION STAKEOUT** - ALL CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA.
- PRIVATE UTILITY COORDINATION** - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REMOVAL/RELOCATING OF ANY PRIVATE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
- CONSTRUCTION MATERIALS AND METHODS** - ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY STANDARDS
- EXCAVATED MATERIAL** SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- LOCATION OF EXISTING UTILITIES** - LOCATION, ALIGNMENT OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES, WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR INCONCLUSIVE, INFORMATION SHOWN MAY BE FROM UTILITY OWNER'S RECORDS AND/OR ELECTRONIC LINE TRACING, THE RELIABILITY OF WHICH IS UNCERTAIN. THE CONTRACTOR SHALL PERFORM WHATEVER TEST EXCAVATIONS OR OTHER INVESTIGATIONS ARE NECESSARY TO VERIFY LOCATIONS AND CLEARANCES AND SHALL REPORT IMMEDIATELY ANY DISCREPANCIES TO DEVELOPMENT SERVICES GROUP AT 757-908-2372.
- HVAC** - ALL HVAC AND OTHER EQUIPMENT WILL BE SCREENED AS TO NOT BE VISIBLE FROM ANY RIGHT-OF-WAY. SEE ARCHITECTURAL PLANS FOR DETAILS
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION STAKING AND AS-BUILT SURVEY INFORMATION NEEDED FOR PROJECT CLOSE OUT.

**HATCH LEGEND**

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE

**LAYOUT PLAN LEGEND**

- DUMPSTER ENCLOSURE. SEE ARCH PLANS FOR DETAILS.
- 24" VERTICAL FACE CONCRETE CURB AND GUTTER SEE SHEET CDT-10.0 FOR DETAILS.
- 6" CONCRETE CURB. SEE DETAIL ON SHEET CDT-10.0
- 6" CONCRETE CURB FLUSH WITH PAVEMENT
- CONCRETE SIDEWALK, SEE DETAIL SHEET CDT-10.0 FOR DETAILS.
- DETECTABLE WARNING SURFACE, SEE SHEET CDT-10.1 FOR DETAILS.
- ADA ACCESSIBLE SIDEWALK RAMP. SEE SHEET CDT-10.1 FOR DETAILS.
- VAN ACCESSIBLE "ADA" SIGN. SEE SHEET CDT-10.0 FOR DETAILS.
- VAN ACCESSIBLE "ADA" PAVEMENT MARKINGS. SEE DETAIL SHEET CDT-10.0.
- CONCRETE COMMERCIAL ENTRANCE
- CONCRETE BOLLARD (TYP.) SEE SHEET CDT-10.0 FOR DETAILS.
- PROPOSED SIGN. ACTUAL SIGN SIZE AND PLACEMENT WILL BE PERMITTED SEPARATELY. SIGN PLACEMENT SHALL NOT IMPACT EXISTING VEGETATION
- 4" PARKING PAINT STRIPE (WHITE) (TYP.)
- PROPOSED 30" STOP SIGN
- 24" STOP BAR (WHITE)
- CONCRETE HVAC PAD
- REVERSE GUTTER PAN
- MOUNTABLE CONCRETE ISLAND
- CONCRETE WHEEL STOP (TYP.)
- "NO LEFT TURN" SIGN
- 10'X20' SIGHT DISTANCE TRIANGLE
- FIRE LANE PAVEMENT MARKINGS (TYP.)
- DIRECTIONAL ARROW PAVEMENT MARKINGS (TYP.)



|                           |                         |
|---------------------------|-------------------------|
| DATE                      | 07/05/23                |
| REVISED PER TOWN COMMENTS | 07/24/23                |
| DESCRIPTION               |                         |
| REV.                      | 1 2 3 4 5 6 7 8 9 10 11 |

DESIGNED BY: GF  
DRAWN BY: GF  
REVIEWED BY:

DSG INC. USA, PLLC  
1210 PROGRESSIVE DR.  
CHESAPEAKE VA, 23320  
PH#: 757-472-2719  
EMAIL: GFRANKS@DSGVA.COM  
WWW.DSGINCORPORATED.COM

**DSG**  
DEVELOPMENT SERVICES GROUP INC.

PROJECT NAME/LOCATION ID: KDH SHERWIN WILLIAMS  
SHEET TITLE: LAYOUT PLAN  
PROJECT LOCATION: 1828 N. CROATAN HWY  
KILL DEVIL HILLS, NC

PARCEL # 029831200

CL-5.0  
CONCEPT PLAN

**811**  
Know what's below.  
Call before you dig.

**DRAWING SCALE**

20 0 20 40  
SCALE: 1"=20'

FILE NAME: P:\2022-gemcap\2022-04-4th Street and Croatan Hwy\Card\Croatan Hwy - RDH NC 07-01-5.0 Layout.dwg LAYOUT NAME: Layout. PLOTTED: Monday, July 24, 2023 - 9:00am

**SANITARY SEWER SCHEDULE:**

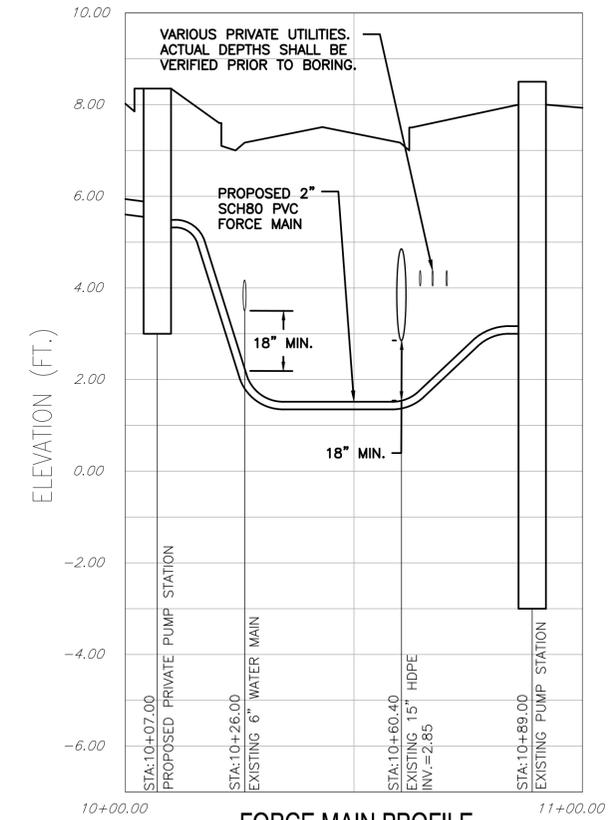
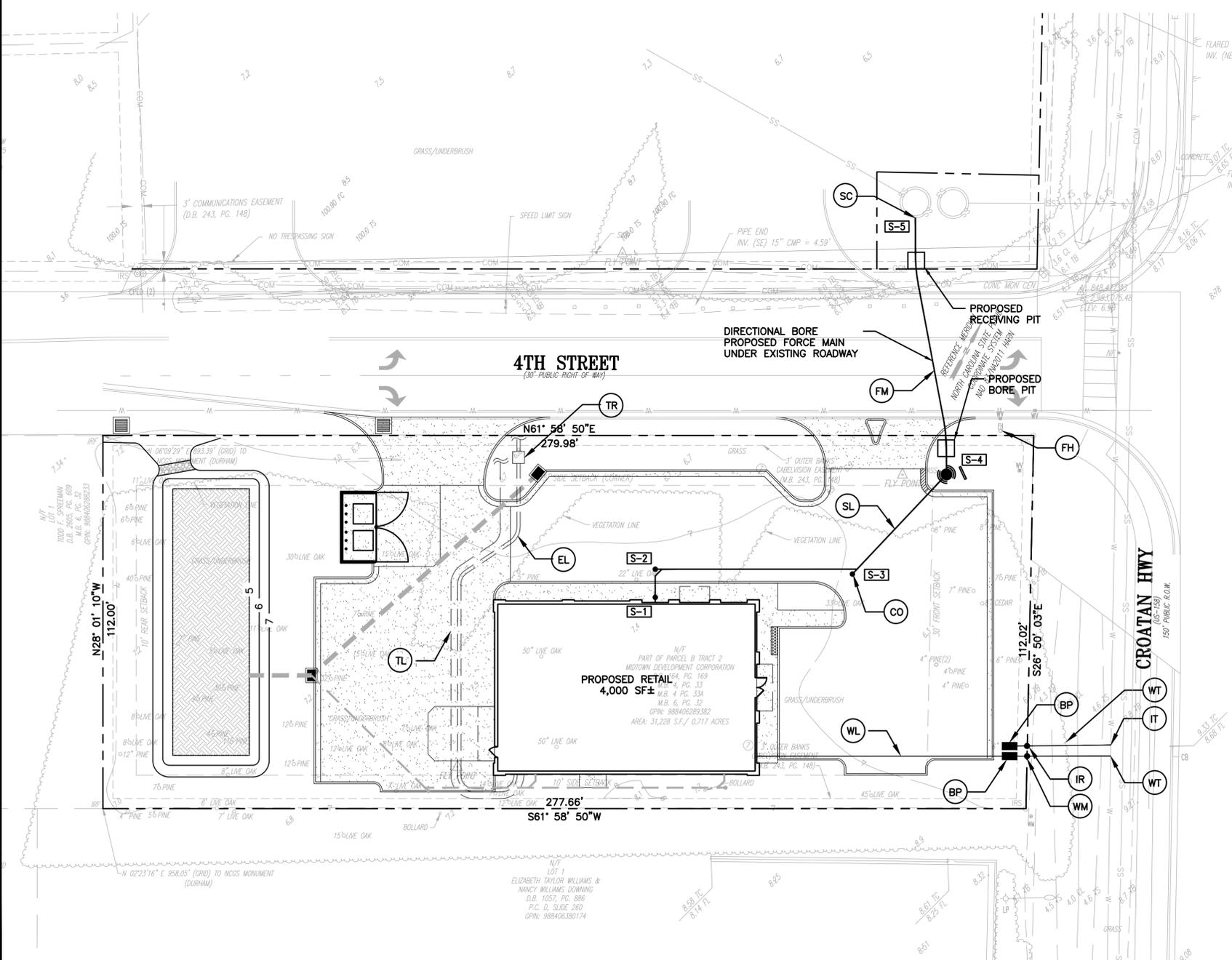
- S-1** SANITARY SEWER CLEANOUT  
RIM=8.90  
INV=5.90  
S-1 TO S-2 10' OF SCH40 4" PVC PIPE @ 0.5% SLOPE
- S-2** PROPOSED PRIVATE PUMP STATION  
RIM=8.35  
INV=5.80  
S-2 TO S-3 59' OF SCH40 4" PVC PIPE @ 0.5% SLOPE
- S-3** PROPOSED PRIVATE PUMP STATION  
RIM=8.35  
INV=5.50  
S-3 TO S-4 39' OF SCH40 4" PVC PIPE @ 0.5% SLOPE
- S-4** PROPOSED PRIVATE PUMP STATION  
RIM=8.35  
INV=5.30  
S-4 TO S-5 78' OF SCH80 2" PVC FORCE MAIN
- S-5** TIE TO EXISTING SAN. SEWER MANHOLE  
RIM=8.50  
INV=3.00

**UTILITY LEGEND:**

- WT** TIE TO EXISTING WATER MAIN WITH 1" CORPORATION STOP AND 1" GATE VALVE. INSTALL PROPOSED 1" PVC SERVICE LINE TO PROPOSED 3/4" DOMESTIC WATER METER. (INSTALLATION BY TOWN)
- WM** INSTALL NEW 3/4" WATER METER AND METER BOX.
- WL** PROPOSED 1" PVC WATER SERVICE LINE
- SL** PROPOSED 4" PVC (SCH40 PVC) SANITARY SEWER LATERAL
- CO** PROPOSED SANITARY CLEANOUT, TYP.
- SC** CONNECT TO EXISTING SANITARY SEWER PUMP STATION.
- EL** PROPOSED UNDERGROUND ELECTRICAL CONDUIT. COORDINATE WITH POWER COMPANY FOR ACTUAL LOCATION OF SERVICE TO BUILDING.
- TR** APPROXIMATE LOCATION OF PROPOSED ELECTRICAL TRANSFORMER. COORDINATE WITH POWER COMPANY FOR ACTUAL LOCATION OF SERVICE TO BUILDING.
- TL** PROPOSED TELEPHONE SERVICE. PROVIDE TWO CONDUIT LINES FOR PHONE AND INTERNET. COORDINATE WITH TELEPHONE COMPANY FOR ACTUAL SERVICE LOCATION.
- IR** PROPOSED 3/4" IRRIGATION METER AND METER BOX.
- IT** TAP EXISTING WATER MAIN WITH 3/4" CORPORATION STOP. INSTALL 1" PVC SERVICE LINE TO METER. (INSTALLATION BY TOWN)
- BP** AMES 4000BM3 (OR APPROVED EQUAL) RPZ DEVICE WITH HOTBOX. CONTRACTOR TO PROVIDE CONDUIT FOR AND ELECTRICAL CONNECTION FOR HEATING ELEMENT.
- FH** LOCATION OF EXISTING FIRE HYDRANT WITHIN 400' OF PROPOSED BUILDING.
- PS** PROPOSED PRIVATE GRINDER PUMP STATION AND CONTROL BOX. CONTRACTOR TO PROVIDE CONDUIT FOR ELECTRICAL CONNECTION.
- FM** PROPOSED SCH80 2" PVC SANITARY SEWER FORCE MAIN

**UTILITY NOTES:**

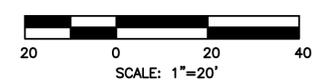
1. **UNDERGROUND INSTALLATION** - ALL PROPOSED UTILITIES ARE TO BE INSTALLED UNDERGROUND INCLUDING ELECTRIC TELEPHONE AND CATV.
2. **CONTRACTOR MUST NOTIFY PUBLIC UTILITIES** - DISRUPTION TO SERVICE CONSTRUCTION REPRESENTATIVE SEVEN (7) CALENDAR DAYS PRIOR TO ANY NIGHT TIME SHUTDOWN OF THE WATER LINE.
3. **LOCATION OF EXISTING UTILITIES** - LOCATION, ALIGNMENT OR DEPTH OF ANY OR ALL UNDERGROUND UTILITIES OR OTHER FACILITIES, WHERE SURFACE FEATURES (MANHOLES, CATCH BASINS, VALVES, ETC.) ARE UNAVAILABLE OR INCONCLUSIVE, INFORMATION SHOWN MAY BE FROM UTILITY OWNER'S RECORDS AND/OR ELECTRONIC LINE TRACING, THE RELIABILITY OF WHICH IS UNCERTAIN. THE CONTRACTOR SHALL PERFORM WHATEVER TEST EXCAVATIONS OR OTHER INVESTIGATIONS ARE NECESSARY TO VERIFY LOCATIONS AND CLEARANCES AND SHALL REPORT IMMEDIATELY ANY DISCREPANCIES TO DEVELOPMENT SERVICES GROUP AT 757-908-2372.
4. **UTILITY VERIFICATION** - CONTRACTOR SHALL VERIFY THE LOCATION AND INVERTS OF ALL UTILITIES BEFORE INSTALLATION. IF THE LOCATION OR INVERT OF ANY UTILITY DIFFERS FROM THE SITE PLAN, THE CONTRACTOR SHALL CONTACT DEVELOPMENT SERVICES GROUP (757-908-2372) BEFORE PROCEEDING WITH INSTALLATION.
5. ALL THRUST BLOCKING SHALL BE PER THE VERTICAL AND HORIZONTAL THRUST BLOCKING DETAILS.
6. ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLAN FOR ALL BUILDING UTILITY TIE INS.
8. AS-BUILT SURVEY AND OTHER CLOSE OUT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



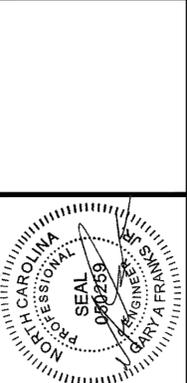
**FORCE MAIN PROFILE**

VERT. SCALE 1"=2'  
HORZ. SCALE 1"=20'

**DRAWING SCALE**



| REV. | DESCRIPTION               | DATE     |
|------|---------------------------|----------|
| 1    | REVISED PER TOWN COMMENTS | 07/05/23 |
| 2    | REVISED PER TOWN COMMENTS | 07/24/23 |
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WWW.DSGINCORPORATED.COM



PROJECT NAME/LOCATION ID: **KDH SHERWIN WILLIAMS**

SHEET TITLE: **UTILITY PLAN**

PROJECT LOCATION: **1828 N. CROATAN HWY  
KILL DEVIL HILLS, NC**

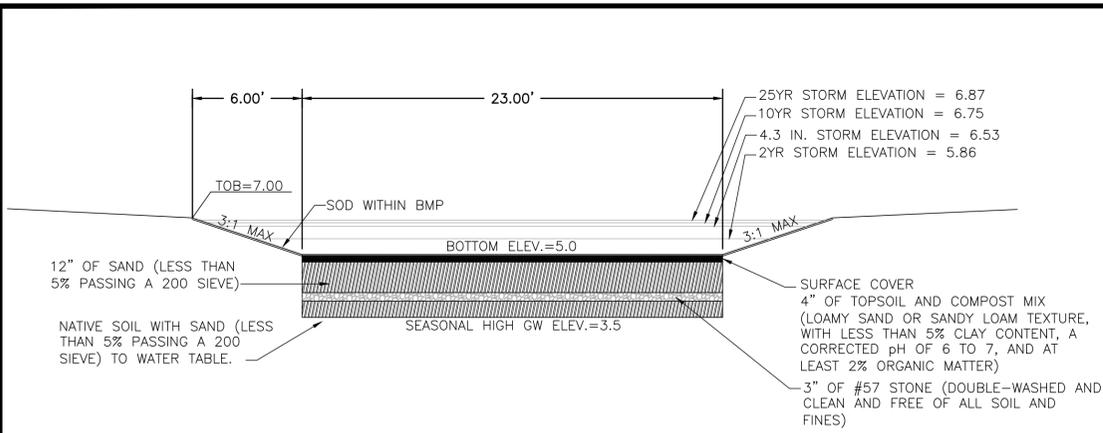
PARCEL # **029831200**

**CU-6.0**

CONCEPT PLAN

FILE NAME: P:\2022-demarc\2022.04-4th Street and Croatan Hwy\Card\Croatan Hwy - RDH NC 08-01-6.0 Utilities.dwg LAYOUT NAME: Utilities PLOTTED: Monday, July 24, 2023 - 9:00am

FILE NAME: P:\2022-demarc\2022.04-4th Street and Croatan Hwy\4th Street and Croatan Hwy\4th Street and Croatan Hwy.dwg LAYOUT NAME: Grading and Drainage.dwg PLOTTED: Monday, July 24, 2023 9:00am



**INFILTRATION BASIN DETAIL**

**STORM SEWER LEGEND DA-A**

- [A-1]** PROPOSED CURB INLET  
RIM=7.60  
INV=5.30
- [A-1] TO [A-2]** 90' OF 15" CLASS IV RCP @ 0.3%
- [A-2]** PROPOSED CURB INLET  
RIM=7.50  
INV=5.10
- [A-2] TO [A-3]** 19' OF 15" HDPE @ 0.3%

**INFILTRATION BASIN MAINTENANCE NOTES:**

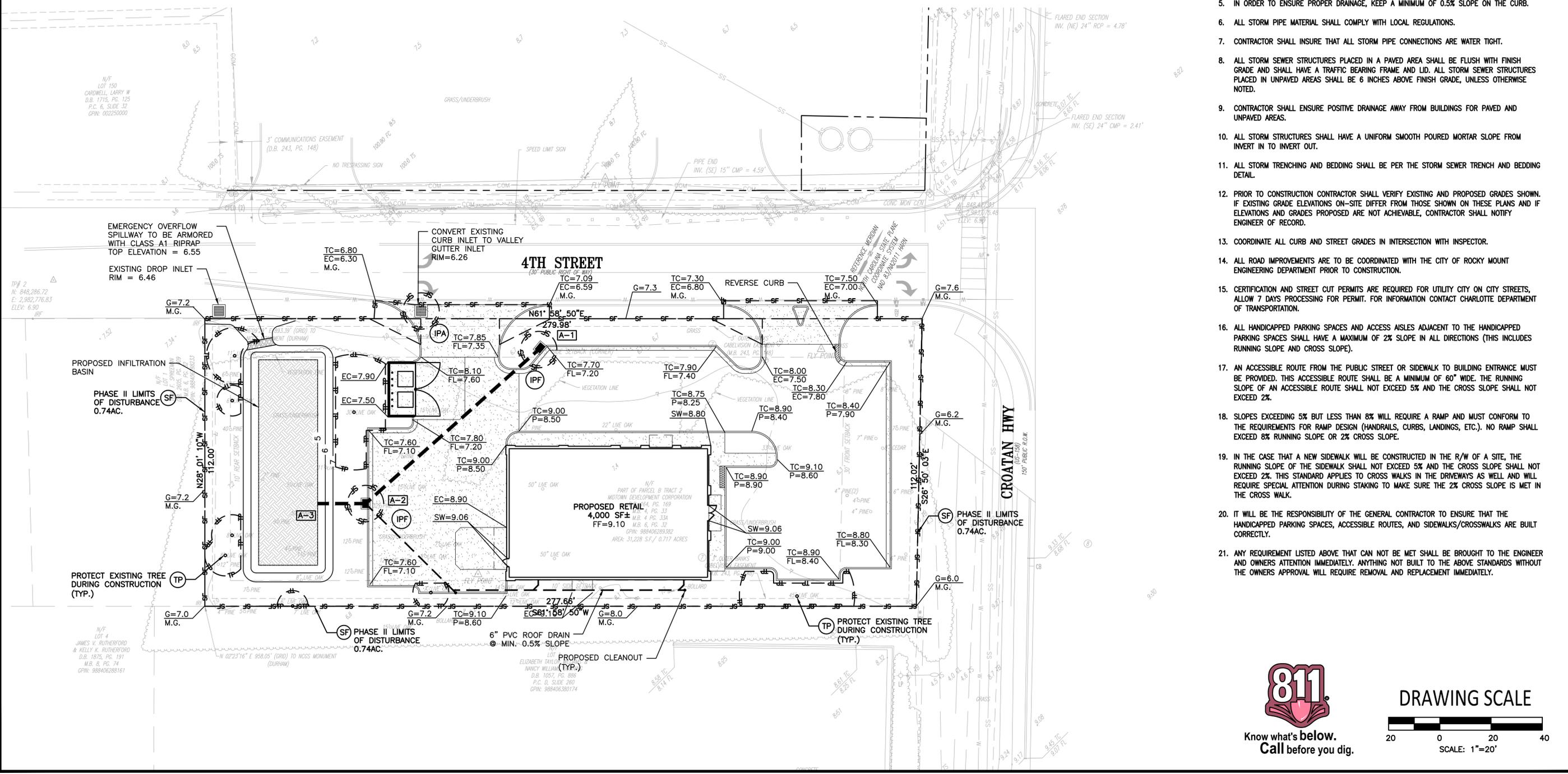
1. THE DRAINAGE AREA SHALL BE CAREFULLY MANAGED TO REDUCE THE SEDIMENT LOAD TO THE INFILTRATION BASIN.
2. NO PORTION OF THE INFILTRATION BASIN SHALL BE FERTILIZED AFTER INITIAL FERTILIZATION THAT IS REQUIRED TO ESTABLISH VEGETATION. LIME MAY BE ALLOWED IF TESTS SHOW THAT IT IS NEEDED.
3. THE OWNER IS TO ENSURE THE VEGETATION IN AND AROUND THE BASIN IS MAINTAINED AT A HEIGHT OF FOUR TO SIX INCHES.
4. AFTER THE INFILTRATION BASIN IS ESTABLISHED, THE OWNER IS RESPONSIBLE FOR INSPECTING IT ONCE A QUARTER AND WITHIN 24 HOURS AFTER EVERY STORM EVENT GREATER THAN 1.5 INCHES. RECORDS OF OPERATION AND MAINTENANCE MUST BE KEPT IN A KNOWN LOCATION AND SHALL BE AVAILABLE UPON REQUEST.
5. THE OWNER IS RESPONSIBLE FOR ENSURING THAT INSPECTION ACTIVITIES ARE PERFORMED IN ACCORDANCE WITH TABLE 2 OF THE NCDCEQ STORMWATER DESIGN MANUAL CHAPTER C-1 INFILTRATION SYSTEMS. THE OWNER SHALL ENSURE THAT ANY PROBLEMS THAT ARE FOUND MUST BE REPAIRED IMMEDIATELY.

**LEGEND OF GRADE NOTATIONS:**

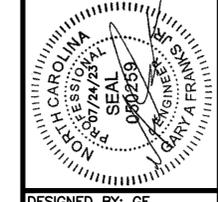
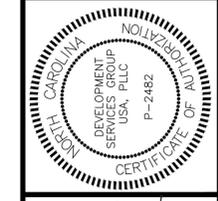
- TC = TOP OF CURB
- FL = FLOW LINE OF GUTTER
- P = ASPHALT OR CONCRETE PAVEMENT SURFACE
- SW = SIDEWALK SURFACE
- G = GROUND SURFACE
- M.G. = MATCH EXISTING GRADE
- H.P. = HIGH POINT OF GRADED SURFACE
- W.D. = WIPE TOP OF CURB DOWN TO MATCH EXISTING

**DRAINAGE NOTES:**

1. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
2. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS.
3. CURB AND GUTTER SHOWN ON PLANS ALONG PUBLIC STREETS MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
4. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
5. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
6. ALL STORM PIPE MATERIAL SHALL COMPLY WITH LOCAL REGULATIONS.
7. CONTRACTOR SHALL INSURE THAT ALL STORM PIPE CONNECTIONS ARE WATER TIGHT.
8. ALL STORM SEWER STRUCTURES PLACED IN A PAVED AREA SHALL BE FLUSH WITH FINISH GRADE AND SHALL HAVE A TRAFFIC BEARING FRAME AND LID. ALL STORM SEWER STRUCTURES PLACED IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE, UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR PAVED AND UNPAVED AREAS.
10. ALL STORM STRUCTURES SHALL HAVE A UNIFORM SMOOTH POURED MORTAR SLOPE FROM INVERT IN TO INVERT OUT.
11. ALL STORM TRENCHING AND BEDDING SHALL BE PER THE STORM SEWER TRENCH AND BEDDING DETAIL.
12. PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED GRADES SHOWN. IF EXISTING GRADE ELEVATIONS ON-SITE DIFFER FROM THOSE SHOWN ON THESE PLANS AND IF ELEVATIONS AND GRADES PROPOSED ARE NOT ACHIEVABLE, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD.
13. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
14. ALL ROAD IMPROVEMENTS ARE TO BE COORDINATED WITH THE CITY OF ROCKY MOUNT ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
15. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CITY ON CITY STREETS, ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION.
16. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAPPED PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
17. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
18. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, ETC.). NO RAMP SHALL EXCEED 8% RUNNING SLOPE OR 2% CROSS SLOPE.
19. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE R/W OF A SITE, THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAYS AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
20. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAPPED PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE BUILT CORRECTLY.
21. ANY REQUIREMENT LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER AND OWNERS ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WITHOUT THE OWNERS APPROVAL WILL REQUIRE REMOVAL AND REPLACEMENT IMMEDIATELY.



| REV. | DESCRIPTION               | DATE     |
|------|---------------------------|----------|
| 1    | REVISED PER TOWN COMMENTS | 07/05/23 |
| 2    | REVISED PER TOWN COMMENTS | 07/24/23 |
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DRAWN BY: GF  
REVIEWED BY:

DSG INC. USA, PLLC  
1210 PROGRESSIVE DR.  
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EMAIL: GFRANKS@DSGVA.COM  
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**DSG**  
DEVELOPMENT SERVICES GROUP INC.

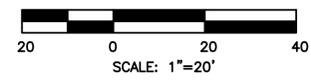
PROJECT NAME/LOCATION ID: KDH SHERWIN WILLIAMS  
SHEET TITLE: GRADING AND PHASE II E&S PLAN  
PROJECT LOCATION: 1828 N. CROATAN HWY KILL DEVIL HILLS, NC  
PARCEL # 029831200

**CG-7.0**  
CONCEPT PLAN

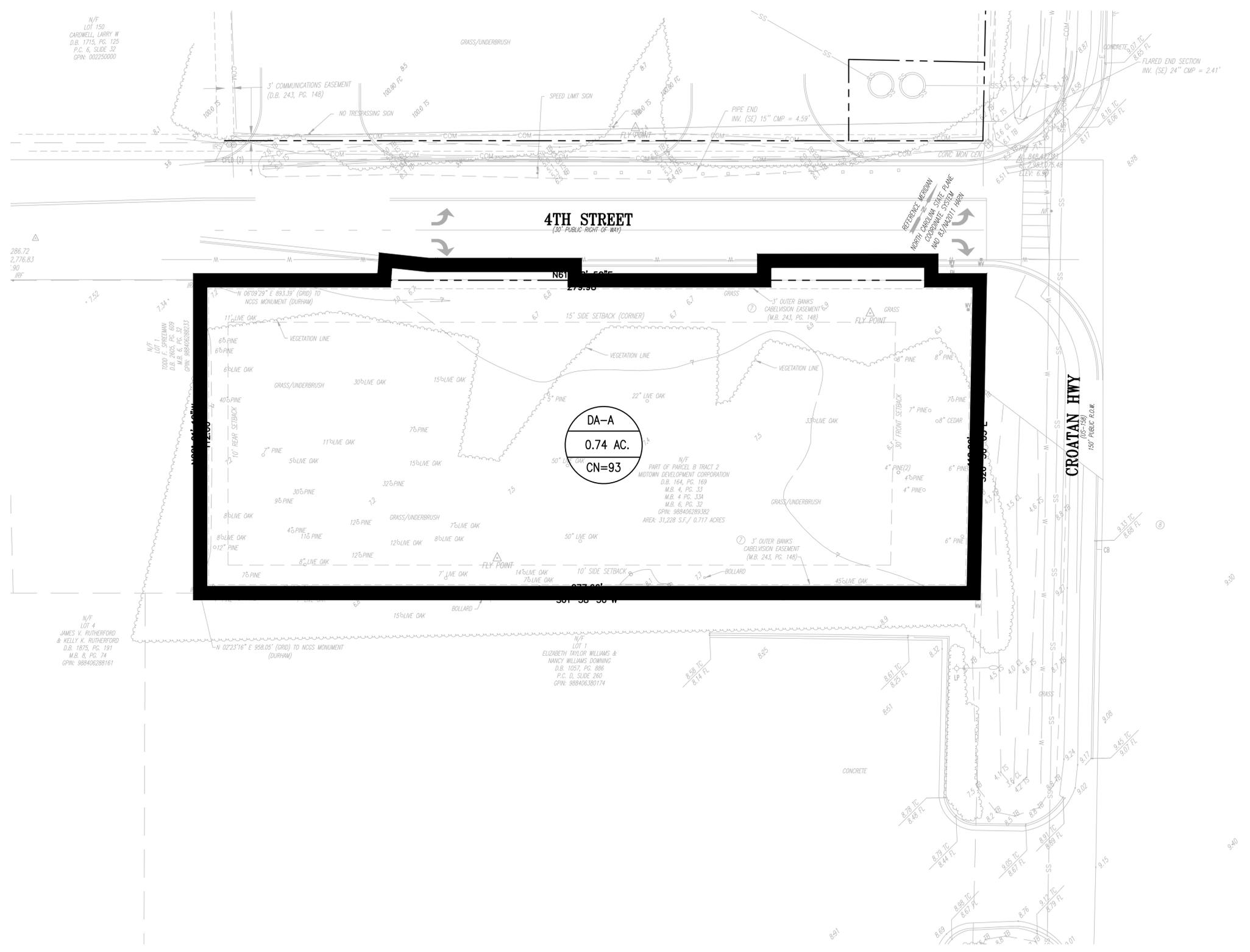


Know what's below.  
Call before you dig.

**DRAWING SCALE**



FILE NAME: P:\2022-dmcap\2022.04-4th Street and Croatan Hwy\Croatan Hwy.dwg LAYOUT NAME: Exst. Condition PLOTTED: Monday, July 24, 2023 - 9:00am



N/F LOT 150  
CARDWELL, LARRY W  
D.B. 1715, PG. 125  
P.C. 6, SLIDE 32  
GPN: 002250000

N/F LOT 150  
CARDWELL, LARRY W  
D.B. 1715, PG. 125  
P.C. 6, SLIDE 32  
GPN: 002250000

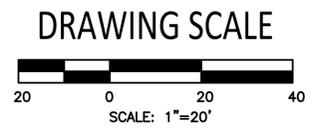
N/F LOT 4  
JAMES V. RUTHERFORD  
& KELLY K. RUTHERFORD  
D.B. 1875, PG. 191  
M.B. 8, PG. 74  
GPN: 98840628161

N 02'23'16" E 958.05' (GRID) TO NCOS MONUMENT (DURHAM)

N/F LOT 1  
ELIZABETH TAYLOR WILLIAMS &  
NANCY WILLIAMS DRAWING  
D.B. 1057, PG. 886  
P.C. D, SLIDE 280  
GPN: 988406380174

N/F PART OF PARCEL B TRACT 2  
MIDTOWN DEVELOPMENT CORPORATION  
D.B. 164, PG. 169  
M.B. 4, PG. 33  
M.B. 6, PG. 32  
GPN: 988406289382  
AREA: 31,228 S.F./ 0.717 ACRES

DA-A  
0.74 AC.  
CN=93



| REV. | DESCRIPTION               | DATE     |
|------|---------------------------|----------|
| 1    | REVISED PER TOWN COMMENTS | 07/05/23 |
| 2    | REVISED PER TOWN COMMENTS | 07/24/23 |
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REVIEWED BY:

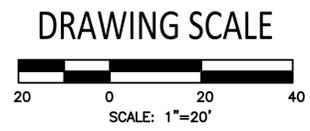
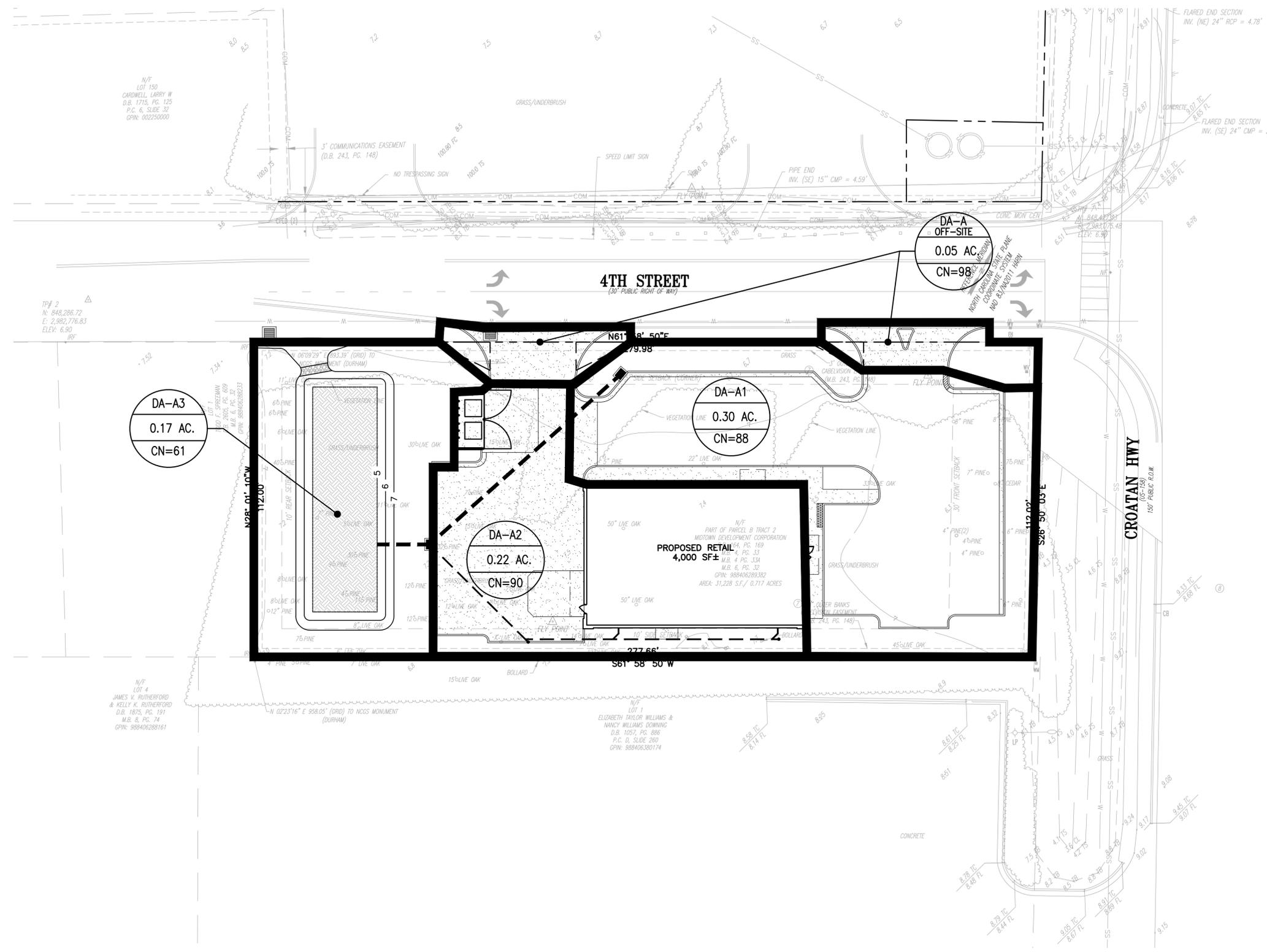
DSG INC. USA, PLLC  
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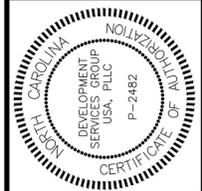
PROJECT NAME/LOCATION ID  
KDH SHERWIN WILLIAMS  
SHEET TITLE  
EXISTING DRAINAGE AREAS  
PROJECT LOCATION  
1828 N. CROATAN HWY  
KILL DEVIL HILLS, NC  
PARCEL #  
029831200

CG-7.1  
CONCEPT PLAN

FILE NAME: P:\2022-dmrcap\2022.04-4th Street and Croatan Hwy\Card\Croatan Hwy - RDH NC 12-06-72 Proposed Drainage Areas.dwg LAYOUT NAME: Ext. Condition PLOTTED: Monday, July 24, 2023 - 9:08am



| REV. | DESCRIPTION               | DATE     |
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PROJECT NAME/LOCATION ID  
**KDH SHERWIN WILLIAMS**

SHEET TITLE  
**PROPOSED DRAINAGE AREAS**

PROJECT LOCATION  
1828 N. CROATAN HWY  
KILL DEVIL HILLS, NC

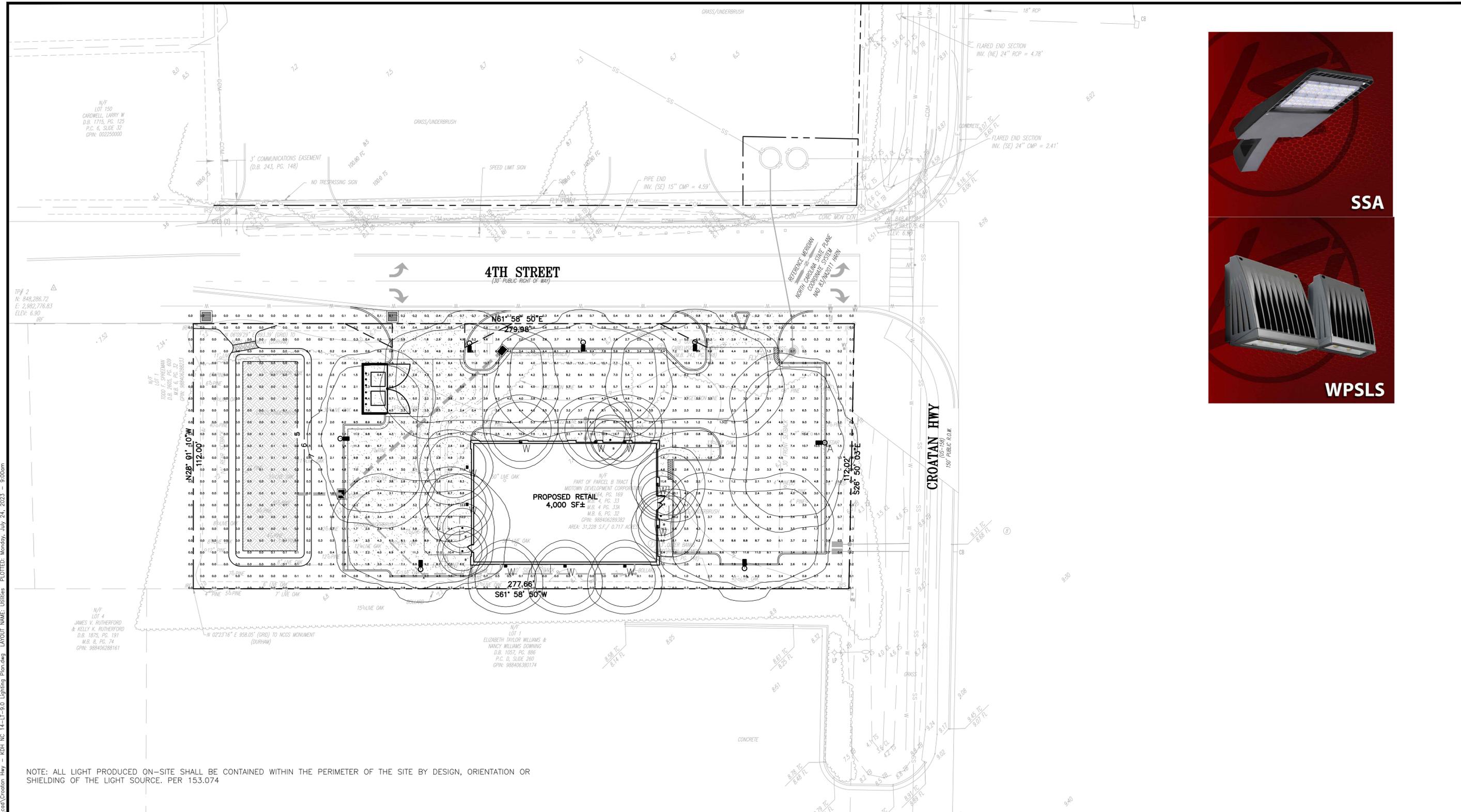
PARCEL #  
029831200

**CG-7.2**

CONCEPT PLAN



FILE NAME: P:\2022-demarc\2022\_04-4th Street and Croatan Hwy\Cad\Croatan Hwy - RDH NC 14-LT-9.0 Lighting Plan.dwg PLOTTED: Monday, July 24, 2023 9:00am



NOTE: ALL LIGHT PRODUCED ON-SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE. PER 153.074

| Label              | CalcType    | Units | Avg   | Max  | Min  | Avg/Min | Max/Min |
|--------------------|-------------|-------|-------|------|------|---------|---------|
| ALL CALCS AT GRADE | Illuminance | Fc    | 1.10  | 14.7 | 0.0  | N.A.    | N.A.    |
| FRONT CANOPY       | Illuminance | Fc    | 15.41 | 20.6 | 11.1 | 1.39    | 1.86    |
| REAR CANOPY        | Illuminance | Fc    | 11.92 | 19.4 | 8.7  | 1.37    | 2.23    |
| RIGHT CANOPY       | Illuminance | Fc    | 16.41 | 20.5 | 14.1 | 1.16    | 1.45    |
| INSIDE CURB        | Illuminance | Fc    | 4.53  | 11.6 | 0.7  | 6.47    | 16.57   |

| Symbol | Qty | Label | Arrangement | Description                          | COLOR TEMP. | Mounting Height | LLD   | LLF   | Arr. Lum. Lumens | Arr. Watts |
|--------|-----|-------|-------------|--------------------------------------|-------------|-----------------|-------|-------|------------------|------------|
|        | 7   | A     | Single      | SSA-LED-18L-ACR-FT-50-UNV-IHS-SINGLE | 5000        | 15'             | 1.000 | 0.940 | 10579            | 121        |
|        | 10  | W     | Single      | WPSLS-02L-50                         | 5000        | 10'             | 1.000 | 0.900 | 2418             | 19.87      |

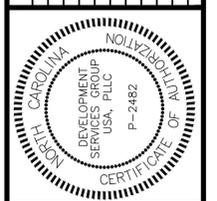


SSA



WPSLS

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EMAIL: GFRANKS@DSGVA.COM  
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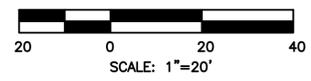


PROJECT NAME/LOCATION ID: KDH SHERWIN WILLIAMS  
SHEET TITLE: LIGHTING PLAN  
PROJECT LOCATION: 1828 N. CROATAN HWY KILL DEVIL HILLS, NC  
PARCEL #: 029831200

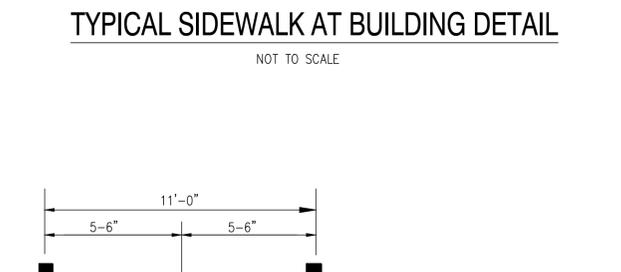
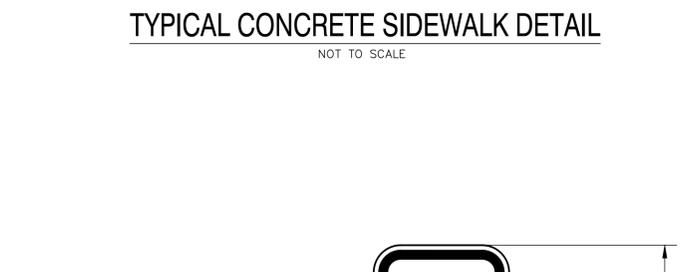
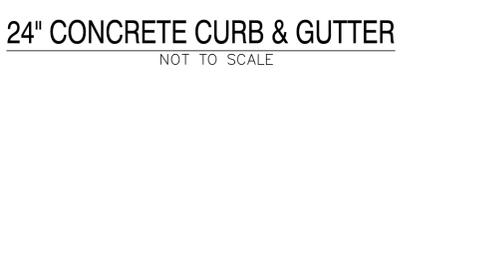
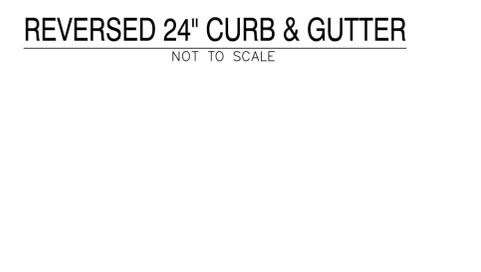
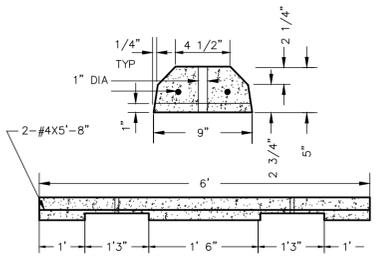
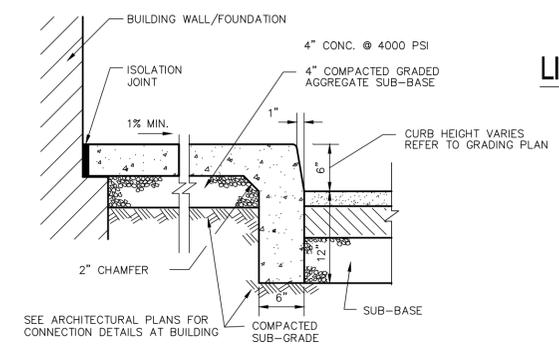
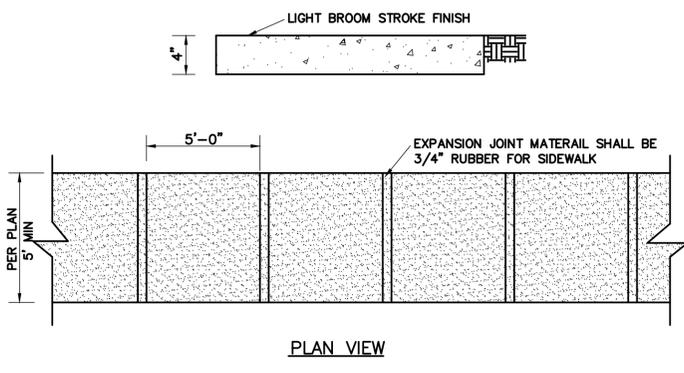
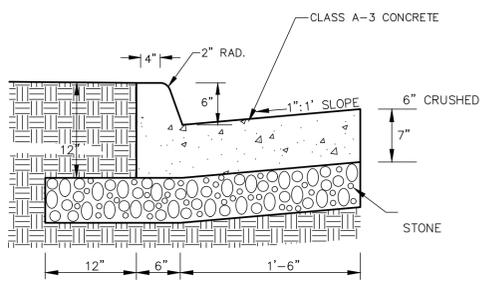
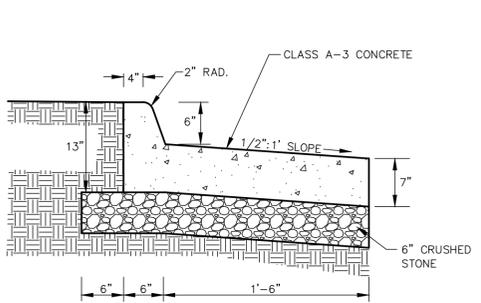
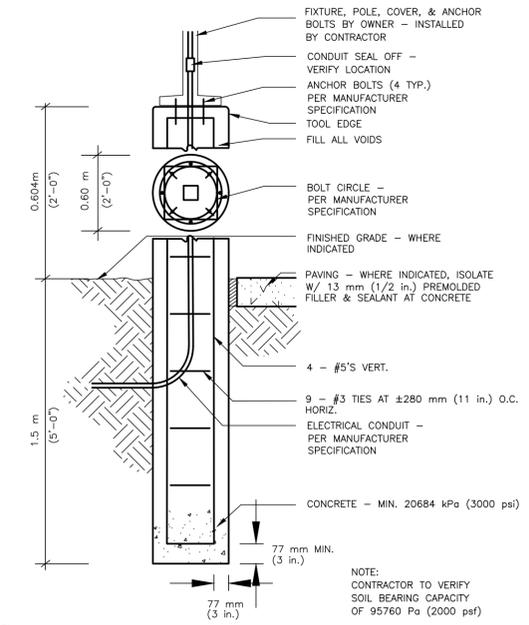
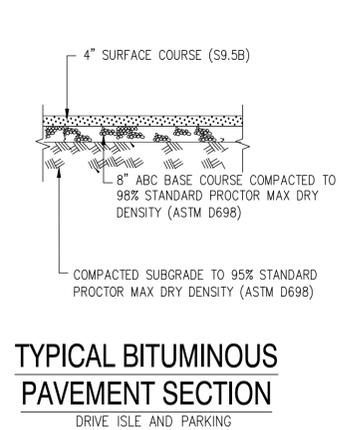
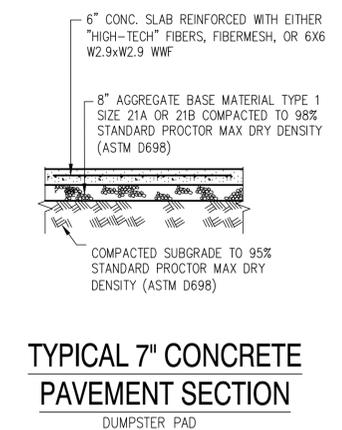
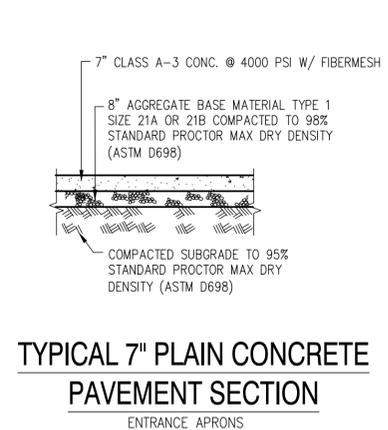
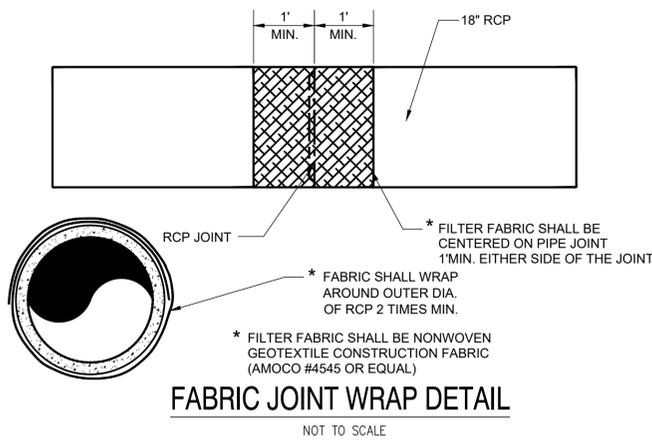


10000 ALLIANCE RD. CINCINNATI, OHIO 45242, USA  
(513) 793-3200 • FAX (513) 793-6023

DRAWING SCALE



LT-9.0  
CONCEPT PLAN



- NOTE:
- CONCRETE MUST BE A MINIMUM 4,000 PSI COMPRESSIVE STRENGTH WITH FIBER MESH.
  - PROVIDE PLASTIC BOLLARD COVER. COVER TO BE IDEALSHIELD (OR APPROVED EQUAL) 1/8" THICK, BROWN (PQ-440C), 6" PIPE FIT, DOME TOP, 48" TALL.
  - DESIGN PARAMETERS:
    - 20 MPH
    - 5,000 LB VEHICLE
  - USE SONOTUBE IN SANDY OR OTHER SOILS THAT MIGHT CAVE IN.
  - INCREASE DEPTH OF CAISSON BELOW PIPE TO MEET LOCAL JURISDICTION MIN. FROST DEPTH REQUIREMENT. PIPE CAN STAY AT 39" BELOW PAVEMENT.
  - IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY NO UTILITY CONFLICTS EXIST WHERE BOLLARDS ARE TO BE INSTALLED, PRIOR TO INSTALLATION.

|                           |                           |
|---------------------------|---------------------------|
| DATE                      | 07/05/23                  |
| REVISION                  | 07/24/23                  |
| DESCRIPTION               | REVISED PER TOWN COMMENTS |
| REV.                      | 1 2 3 4 5 6 7 8 9 10      |
| REVISED PER TOWN COMMENTS |                           |
| REVISED PER TOWN COMMENTS |                           |

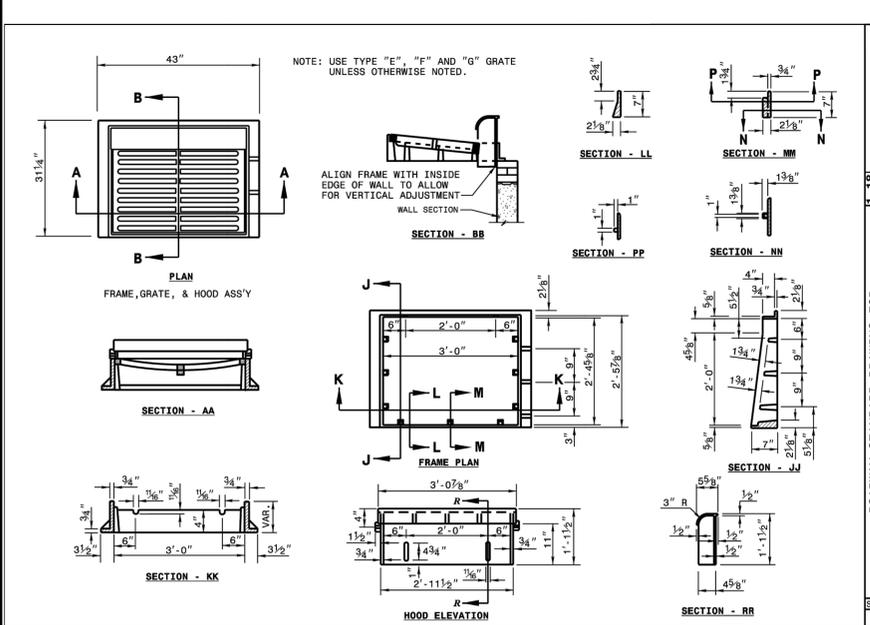
DESIGNED BY: GF  
DRAWN BY: GF  
REVIEWED BY:

DSG INC. USA, PLLC  
1210 PROGRESSIVE DR.  
CHESAPEAKE VA, 23320  
PH#: 757-472-2719  
EMAIL: GFRANKS@DSGVA.COM  
WWW.DSGINCORPORATED.COM

|                          |   |
|--------------------------|---|
| PROJECT NAME/LOCATION ID | KDH SHERWIN WILLIAMS                        |
| SHEET TITLE              | MISC NOTES & DETAILS                        |
| PROJECT LOCATION         | 1828 N. CROATAN HWY<br>KILL DEVIL HILLS, NC |
| PARCEL #                 | 029831200                                   |

**CDT-10.0**  
CONCEPT PLAN

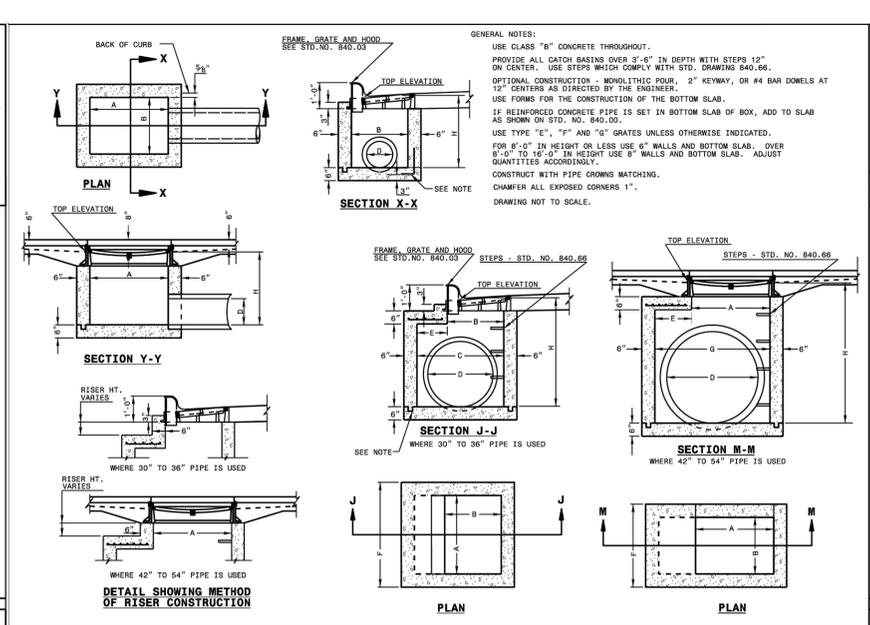
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STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**FRAME, GRATE, AND HOOD**  
 FOR USE ON STANDARD CATCH BASIN

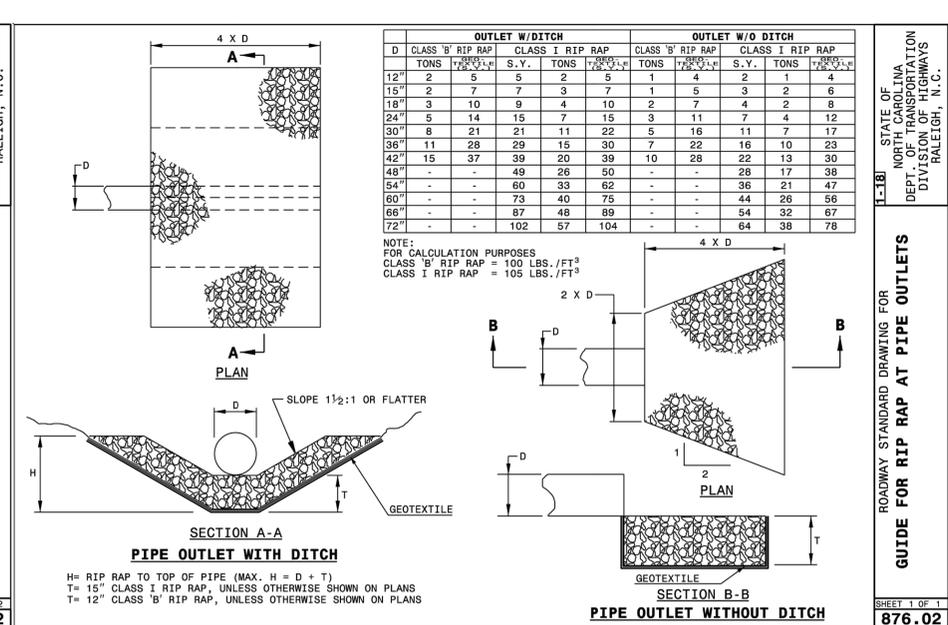
SHEET 1 OF 2  
**840.03**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CONCRETE CATCH BASIN**  
 12" THRU 54" PIPE

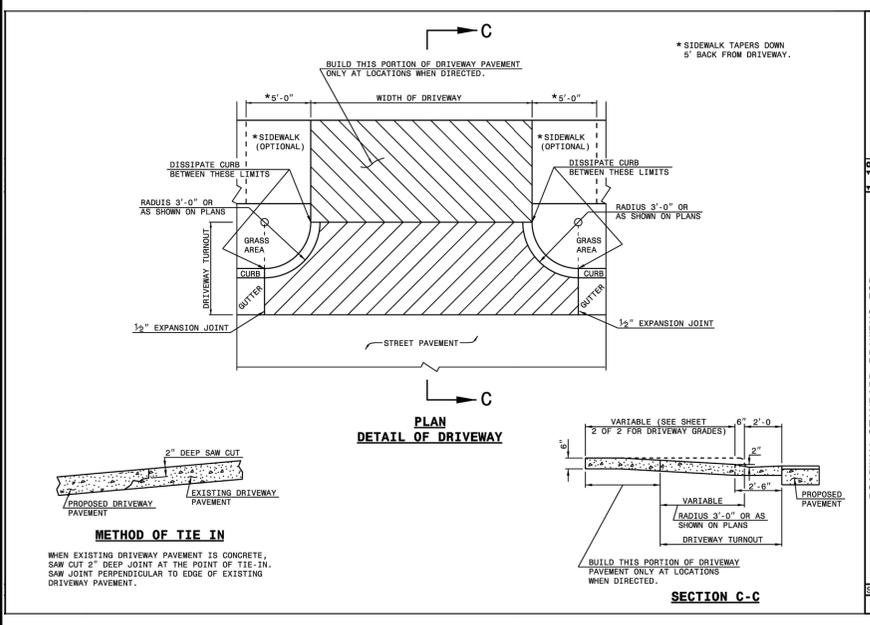
SHEET 1 OF 2  
**840.02**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**GUIDE FOR RIP RAP AT PIPE OUTLETS**

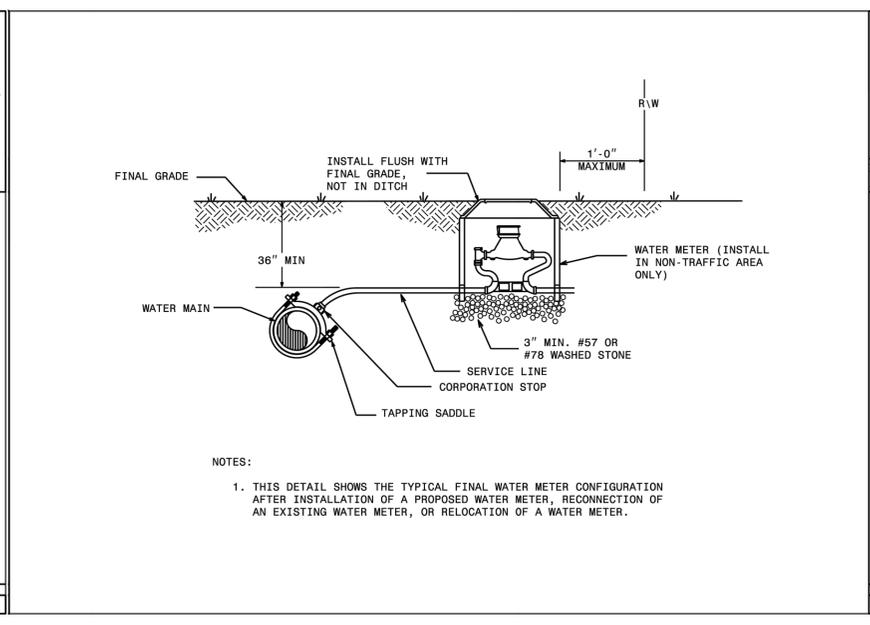
SHEET 1 OF 1  
**876.02**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**DRIVEWAY TURNOUT**  
 RADIUS TYPE

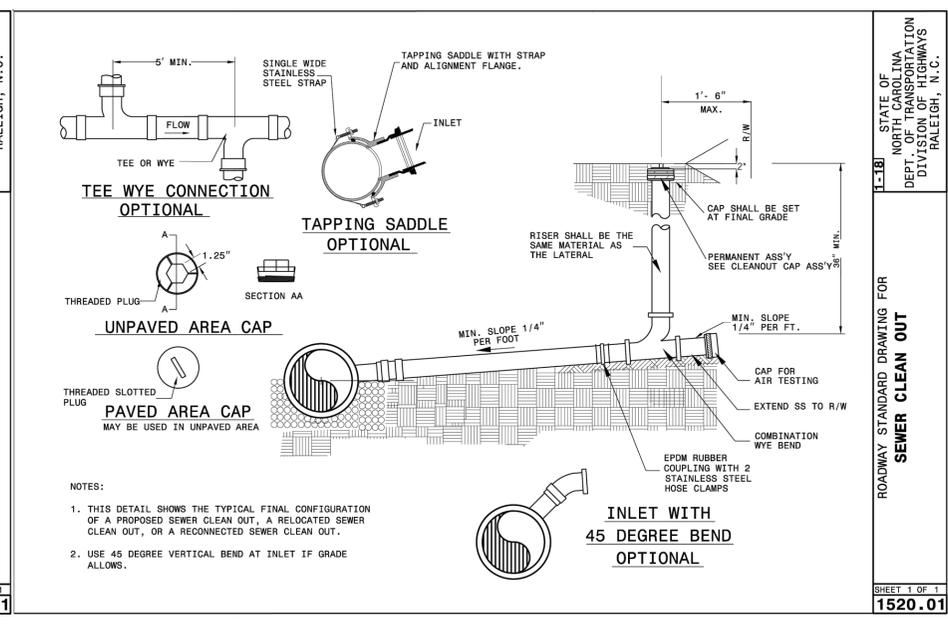
SHEET 1 OF 2  
**848.02**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**WATER METER**

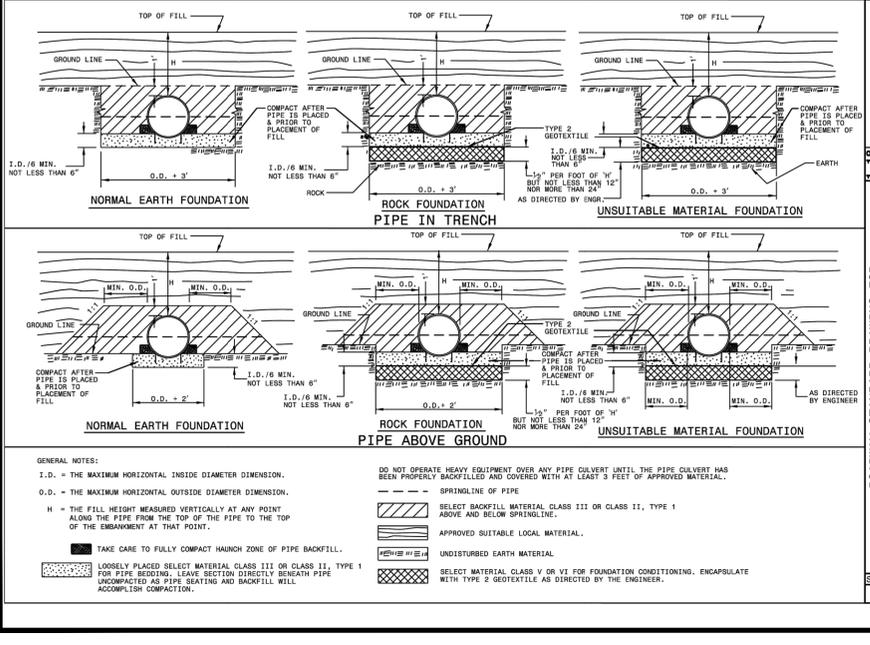
SHEET 1 OF 1  
**1515.01**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
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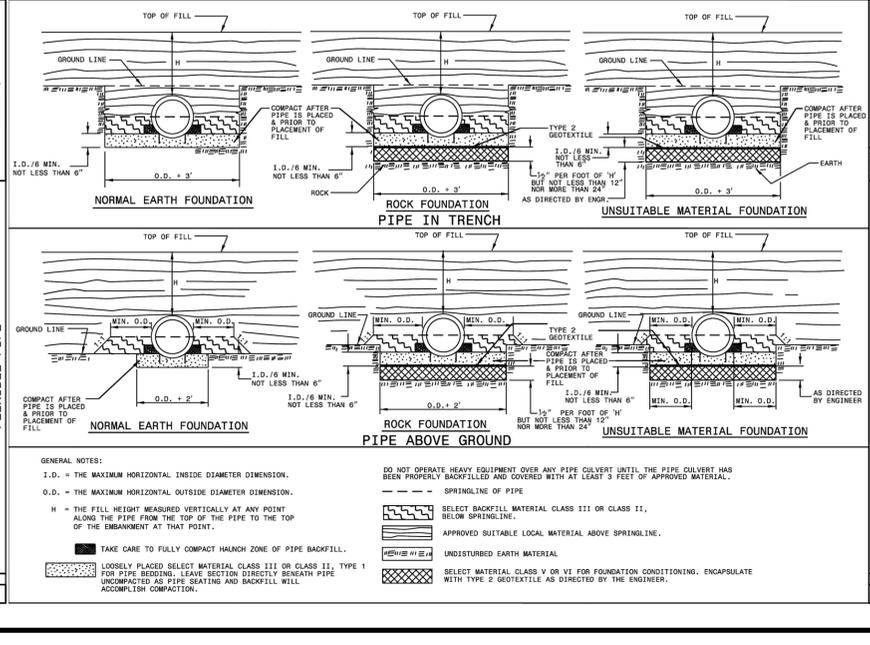
SHEET 1 OF 1  
**1520.01**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**METHOD OF PIPE INSTALLATION**  
 FLEXIBLE PIPE

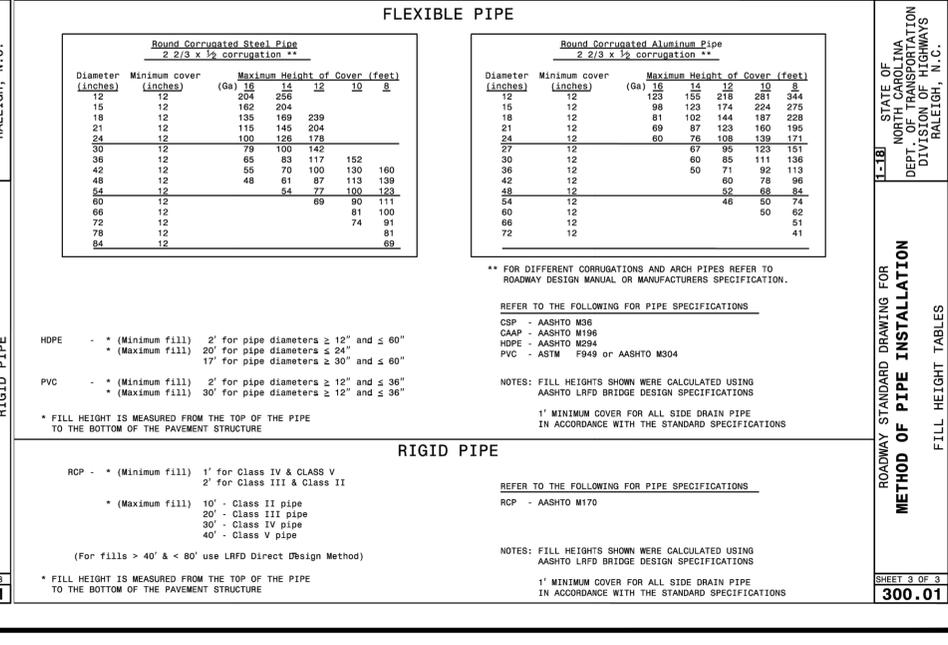
SHEET 1 OF 3  
**300.01**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**METHOD OF PIPE INSTALLATION**  
 RIGID PIPE

SHEET 2 OF 3  
**300.01**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**METHOD OF PIPE INSTALLATION**  
 FILL HEIGHT TABLES

SHEET 3 OF 3  
**300.01**

DATE: 07/05/23  
 REVISED PER TOWN COMMENTS: 07/24/23

DESCRIPTION: ROADWAY STANDARD DRAWING FOR GUIDE FOR RIP RAP AT PIPE OUTLETS

REV. 1 2 3 4 5 6 7 8 9 10 11

DESIGNED BY: GF  
 DRAWN BY: GF  
 REVIEWED BY:

DSG INC. USA, PLLC  
 1210 PROGRESSIVE DR.  
 CHESAPEAKE VA, 23320  
 PH#: 757-472-2719  
 EMAIL: GFRANKS@DSGVA.COM  
 WWW.DSGINCORPORATED.COM

DESIGN PROFESSIONAL SEAL  
 002250  
 GARY A. FRANKS

PROJECT NAME/LOCATION ID: KDH SHERWIN WILLIAMS  
 SHEET TITLE: MISC. NOTES AND DETAILS  
 PROJECT LOCATION: 1828 N. CROATAN HWY  
 KILL DEVIL HILLS, NC

PARCEL # 029831200

CDT-10.1  
 CONCEPT PLAN



**WALL TYPE LEGEND**

-  EXTERIOR WALL:  
BRICK VENEER ON WOOD FRAMED W/EIFS CORNICE  
ABOVE; SEE EXTERIOR ELEVATIONS
-  WOOD STUD FRAMING - SEE GENERAL FINISH NOTES ON  
SHEET A-131
-  SOUND ATTENUATION

**GENERAL NOTES**

1. FOR REFLECTED CEILING PLAN SEE DRAWING A-121
2. FOR DOOR & WINDOW SCHEDULE SEE DRAWING A-501
3. ALL INTERIOR WALLS ARE NON-BEARING

**KEYNOTES**

- ① INSTALL SOUND ATTENUATION BATT. INSTALLATION FULL DEPTH OF WALLS FROM FLOOR TO 6" ABOVE HIGHEST CEILING AROUND RESTROOMS.
- ② OFFICE SHELVING AND COUNTERS BY THE GENERAL CONTRACTOR - REFER TO ELEVATIONS ON DRAWING A-401.
- ③ OVERHEAD ROLL-UP DOOR - REFER TO DOOR SCHEDULE
- ④ POS COUNTER SHALL BE CENTERED ON INTERIOR WINDOWS
- ⑤ ELECTRICAL METER AND PANELS - REFER TO ELECTRICAL SHEETS FOR EXACT LOCATION.
- ⑥ DOUBLE HEIGHT DRINKING FOUNTAIN. SEE 5/A-401FOR ADA DETAIL.
- ⑦ BOLLARD - REFER TO DETAIL 8/A-503
- ⑧ LINE OF NEW OVERHEAD HANGER ROD CANOPY PROVIDED AND INSTALLED BY G.C.. PROVIDE BLOCKING AS REQUIRED PER SECTION
- ⑨ INSTALL WHITE FRP BEHIND WATER HEATER, CAN WASH AND EYE WASHING TO 8'-0" A.F.F.
- ⑩ KNOX BOX SERIES 3200 RECESSED WITH LIFT-OFF DOOR TO BE MOUNTED 4'-0" A.F.F. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
- ⑪ TACTICAL EXIT SIGN - REFER TO DETAIL 4/A-401
- ⑫ 2'-0"x 2'-0" STAINLESS STEEL UTILITY SINK.
- ⑬ EYE WASHING STATION - PROVIDE TEMPERED WATER TO EYE STATION, REFER TO PLUMBING DRAWINGS



GEMCAP DEVELOPMENT  
418 N MARSHALL STREET  
SUITE 201 WINSTON-SALEM,  
NC 27101 336-724-0153

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MARK

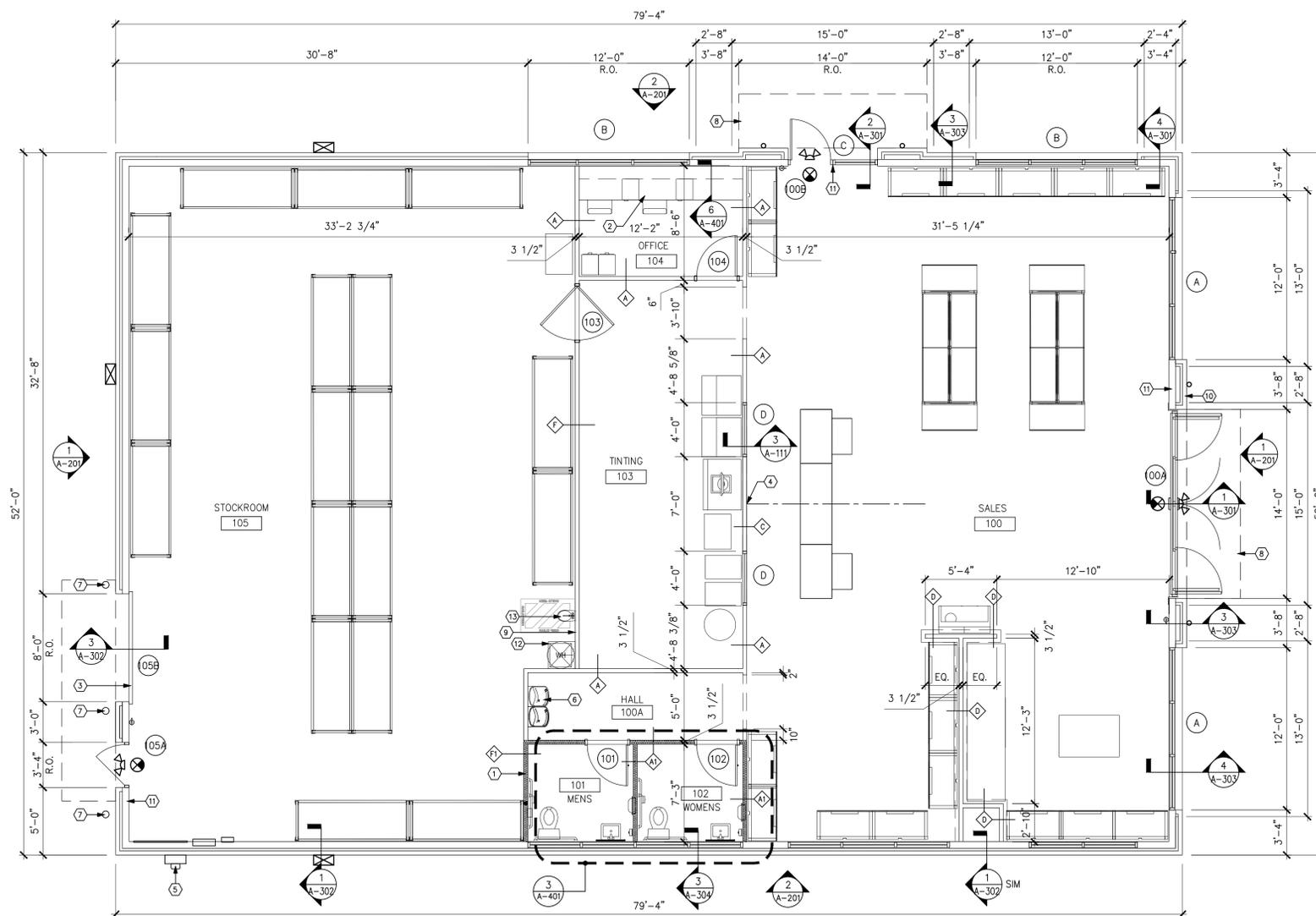


SHERWIN WILLIAMS #001 - KILL DEVIL HILLS, NC  
N. CROATAN HWY & W. 4TH ST, KILL DEVIL HILLS, NC 27565

Project No.: 13480-001

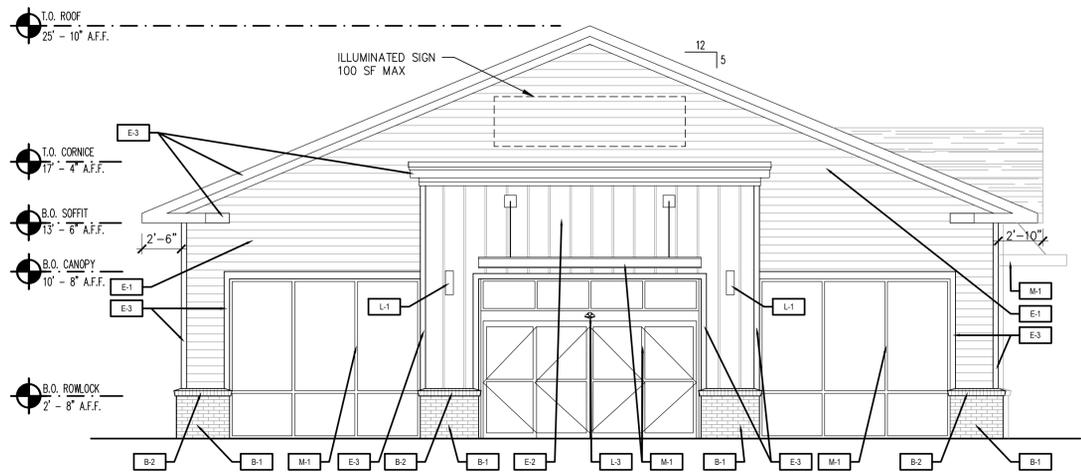
Sheet No.:

**A-111**



**1 FLOOR PLAN**  
A111 SCALE: 3/16" = 1'-0"

**FLOOR PLAN**



**FACADE REQUIREMENTS:**

1. GENERAL FACADE STANDARDS: THE BUILDING IS COMPRISED OF BRICK, VERTICAL BOARD AND BATTEN AND FIBER CEMENT SIDING.
2. FRONT FACADE STANDARDS: WINDOWS AND PILASTERS ARE PROVIDED TO CREATE ARCHITECTURAL BREAKS. ALSO THE BUILDING ENTRANCES HAVE BEEN ENHANCED..
3. ROOF STANDARDS: A GABLE ROOF SPANNING THE ENTIRE WIDTH OF THE BUILDING IS PROVIDED.

**EXTERIOR MATERIAL:**

| MASONRY         |   |  |
|-----------------|---|--|
| B-1             | TYPE: MANUFACTURER: TRAD. BRICK WITH 3/8" JOINT<br>COLOR: PALMETTO BRICK<br>GROUT: .75 GREYSTONE LIGHT GRAY |  |
| B-2             | TYPE: MANUFACTURER: ROWLOCK BRICK<br>COLOR: PALMETTO BRICK<br>GROUT: .75 GREYSTONE LIGHT GRAY               |  |
| EXTERIOR SIDING |   |  |
| E-1             | TYPE: MANUFACTURER: FIBER CEMENT SIDING<br>COLOR: JAMES HARDIE TO MATCH SW 6141 SOFTER TAN                  |  |
| E-2             | TYPE: MANUFACTURER: FIBER CEMENT SIDING<br>COLOR: JAMES HARDIE TO MATCH SW 6143 BASKET BEIGE                |  |
| E-3             | TYPE: MANUFACTURER: FIBER CEMENT SIDING<br>COLOR: JAMES HARDIE TO MATCH SW 7005 PURE WHITE                  |  |
| METAL           |   |  |
| M-1             | TYPE: MANUFACTURER: EXTERIOR CANOPY/STOREFRONT<br>COLOR/FINISH: PRE CLAD OR EQUAL ANODIZED BRONZE           |  |
| LIGHTING        |   |  |
| L-1             | TYPE: UP DOWN LIGHTING WITH BRONZE FINISH   |  |
| L-2             | TYPE: EXTERIOR WALL PACK  |  |
| L-3             | TYPE: EXTERIOR EMERGENCY LIGHTING   |  |

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1000 COMMERCE PARK DRIVE  
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WILLIAMSPORT, PA 17701  
(877) 323-6603

GEMCAP DEVELOPMENT  
418 N MARSHALL STREET  
SUITE 201 WINSTON-SALEM,  
NC 27101 336-724-0153

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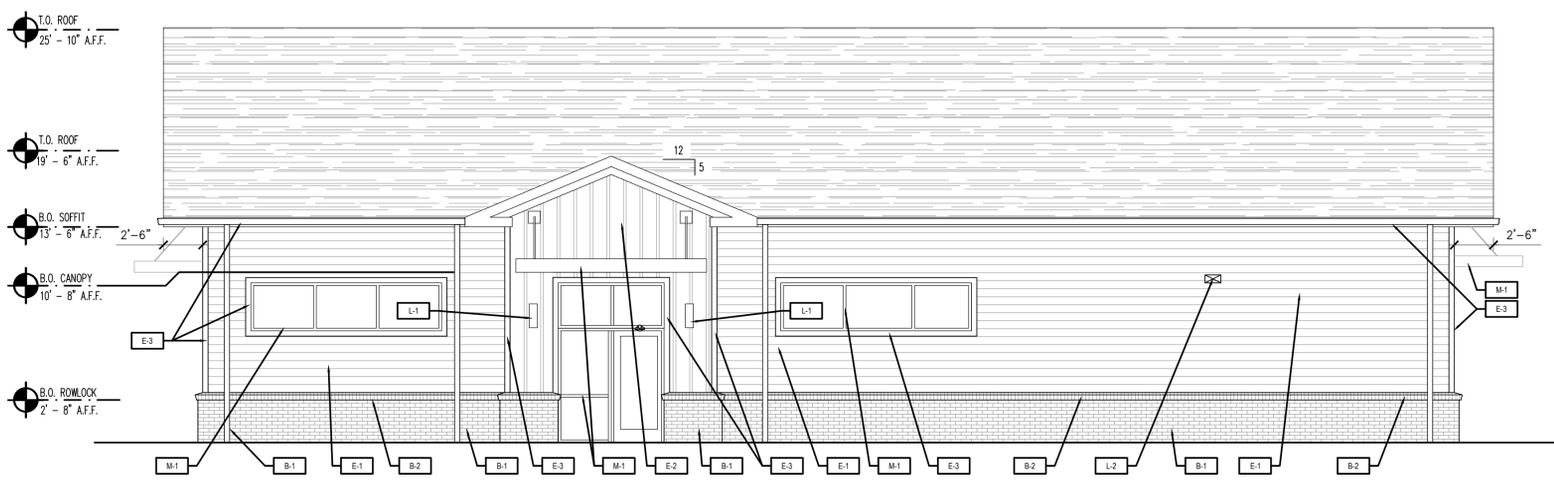
COMMENTS

DATE

MARK

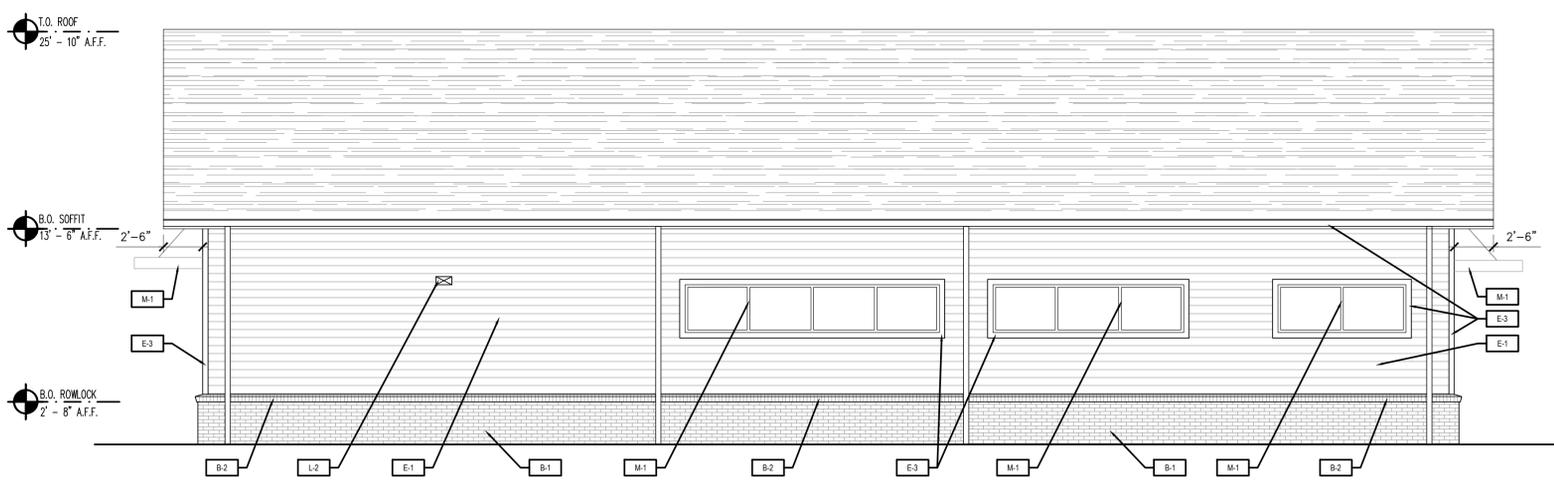
**1 FRONT ELEVATION (CROATAN HWY)**  
A-201 SCALE: 3/16" = 1'-0"

| AREA (S.F.) | GLAZING (S.F.) | FACADE % |
|-------------|----------------|----------|
| 1020 S.F.   | 380 S.F.       | 37%      |



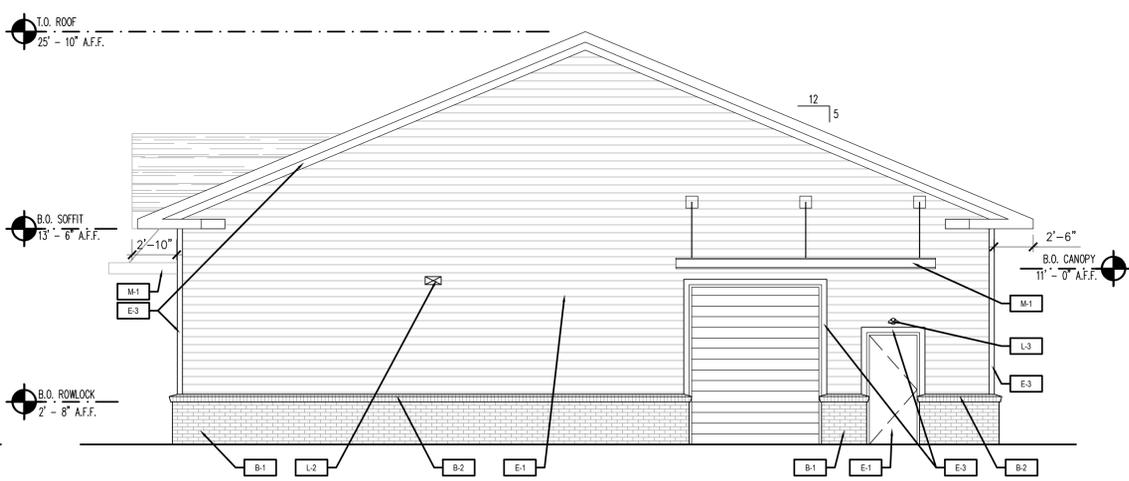
**2 RIGHT ELEVATION (4TH STREET)**  
A-201 SCALE: 3/16" = 1'-0"

| AREA (S.F.) | GLAZING (S.F.) | FACADE % |
|-------------|----------------|----------|
| 1097 S.F.   | 139 S.F.       | 12%      |



**3 LEFT ELEVATION**  
A-201 SCALE: 3/16" = 1'-0"

| AREA (S.F.) | GLAZING (S.F.) | FACADE % |
|-------------|----------------|----------|
| 1065 S.F.   | 108 S.F.       | 10%      |



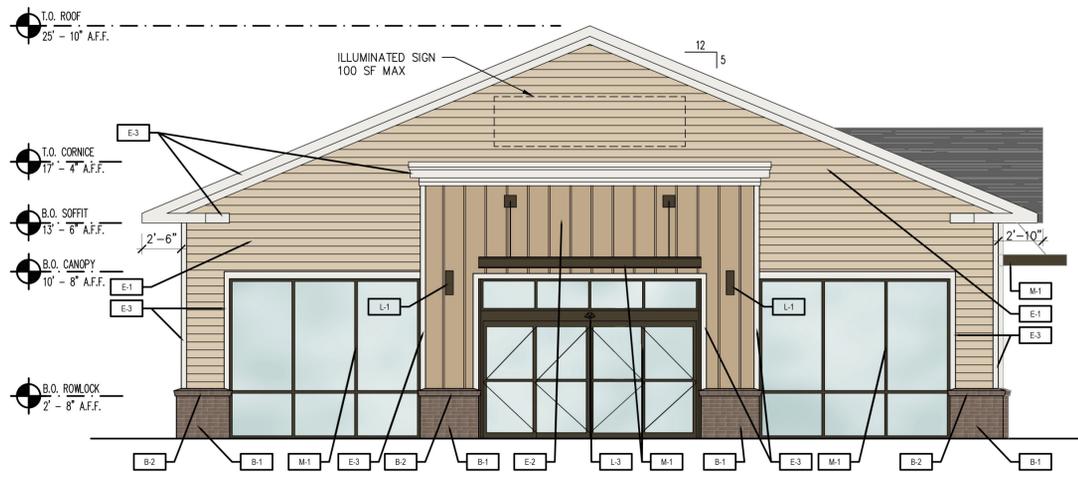
**4 REAR ELEVATION**  
A-201 SCALE: 3/16" = 1'-0"

SHERWIN WILLIAMS #001 - KILL DEVIL HILLS, NC  
N. CROATAN HWY & W. 4TH ST, KILL DEVIL HILLS, NC 27565

**EXTERIOR ELEVATIONS**

Project No.: 13480-001  
Sheet No.: **A-201**

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**1 FRONT ELEVATION (CROATAN HWY)**  
A-202 SCALE: 3/16" = 1'-0"

| AREA (S.F.) | GLAZING (S.F.) | FACADE % |
|-------------|----------------|----------|
| 1020 S.F.   | 380 S.F.       | 37%      |

**FACADE REQUIREMENTS:**

1. GENERAL FACADE STANDARDS: THE BUILDING IS COMPRISED OF BRICK, VERTICAL BOARD AND BATTEN AND FIBER CEMENT SIDING.
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3. ROOF STANDARDS: A GABLE ROOF SPANNING THE ENTIRE WIDTH OF THE BUILDING IS PROVIDED.

**EXTERIOR MATERIAL:**

| MASONRY         |   |  |
|-----------------|---|--|
| B-1             | TYPE: MANUFACTURER:<br>COLOR:<br>GROUT: | TRAD. BRICK WITH 3/8" JOINT<br>PALMETTO BRICK<br>.75 GREYSTONE<br>LIGHT GRAY |
| B-2             | TYPE: MANUFACTURER:<br>COLOR:<br>GROUT: | ROWLOCK BRICK<br>PALMETTO BRICK<br>.75 GREYSTONE<br>LIGHT GRAY               |
| EXTERIOR SIDING |   |  |
| E-1             | TYPE: MANUFACTURER:<br>COLOR:           | FIBER CEMENT SIDING<br>JAMES HARDIE<br>TO MATCH SW 6141 SOFTER TAN           |
| E-2             | TYPE: MANUFACTURER:<br>COLOR:           | FIBER CEMENT SIDING<br>JAMES HARDIE<br>TO MATCH SW 6143 BASKET BEIGE         |
| E-3             | TYPE: MANUFACTURER:<br>COLOR:           | FIBER CEMENT SIDING<br>JAMES HARDIE<br>TO MATCH SW 7005 PURE WHITE           |
| METAL           |   |  |
| M-1             | TYPE: MANUFACTURER:<br>COLOR/FINISH:    | EXTERIOR CANOPY/STOREFRONT<br>PRE CLAD OR EQUAL<br>ANODIZED BRONZE           |
| LIGHTING        |   |  |
| L-1             | TYPE:                                   | UP DOWN LIGHTING WITH BRONZE FINISH  |
| L-2             | TYPE:                                   | EXTERIOR WALL PACK   |
| L-3             | TYPE:                                   | EXTERIOR EMERGENCY LIGHTING  |

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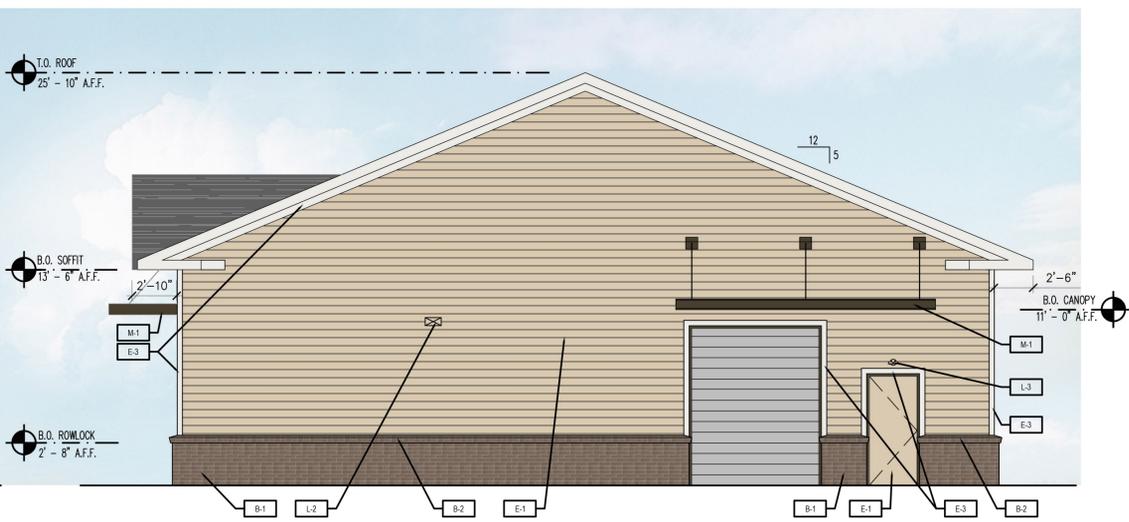
**2 RIGHT ELEVATION (4TH STREET)**  
A-202 SCALE: 3/16" = 1'-0"

| AREA (S.F.) | GLAZING (S.F.) | FACADE % |
|-------------|----------------|----------|
| 1097 S.F.   | 139 S.F.       | 12%      |



**3 LEFT ELEVATION**  
A-202 SCALE: 3/16" = 1'-0"

| AREA (S.F.) | GLAZING (S.F.) | FACADE % |
|-------------|----------------|----------|
| 1065 S.F.   | 108 S.F.       | 10%      |



**4 REAR ELEVATION**  
A-202 SCALE: 3/16" = 1'-0"

SHERWIN WILLIAMS #001 - KILL DEVIL HILLS, NC  
N. CROATAN HWY & W. 4TH ST, KILL DEVIL HILLS, NC 27565

**EXTERIOR ELEVATIONS COLORED**

Project No.: 13480-001  
Sheet No.:

**A-202**