



TOWN OF KILL DEVIL HILLS
Land Where Flight Began

MEMORANDUM

August 14, 2023

TO: Mayor and Board of Commissioners

FROM: Debora P. Díaz, Town Manager

REF: New Business

2. Site Plan Review – 1906 S Croatan Highway in the Commercial Zone — Proposed Boat Service Building Addition and Site Modifications (Attached NB-2)

Albemarle Engineering has submitted a proposed site plan for the addition of a 2,400 square foot service building, reconfiguration of the existing parking lot with 23 parking spaces, and installation of stormwater management measures at 1906 South Croatan Highway; the existing retail building will remain on site. The Planning Department's attached memorandum and accompanying materials highlight the request. The proposed Boat Sales and Boat Repair are permitted uses in the Commercial Zone.

At its July 18, 2023, meeting, the Planning Board voted to forward this site plan to the Board of Commissioners, recommending approval as presented. Staff recommends approval of the site plan, and a motion is in order.

Director of
Planning and Inspections
MEREDITH GUNS

Building Inspector
MARTY SHAW
CHARLES THUMAN

Code Enforcement Officer
JORDAN BLYTHE



Assistant Director of
Planning and Inspections
CAMERON RAY

Senior Planner
RYAN LANG

Zoning Administrator
DONNA ELLIOTT

THE TOWN OF KILL DEVIL HILLS
NORTH CAROLINA

PLANNING DEPARTMENT

August 14, 2023

Memorandum

To: Debbie Diaz, Town Manager

From: Ryan Lang, Senior Planner 

Subject: **SITE PLAN REVIEW — 1906 S Croatan Highway in the Commercial Zone— Proposed Boat Service Building Addition and Site Modifications**

Enclosed is a site plan submitted by Albemarle Engineering, proposing an addition of a 2,400 square foot service building, reconfiguration of existing parking lot with 23 parking spaces, and installation of stormwater management measures. The existing retail building will remain on site. The proposed Boat Sales and Boat Repair are permitted uses in the Commercial Zone (N) *Retail Business (boat sales and rentals, boat repairs)*. Attached you will find the commercial site plan application, proposed site plan, proposed building elevations with floor plan, health department approval and stormwater narrative.

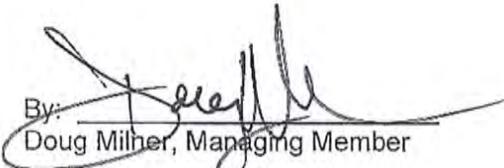
Staff recommends approval of the site plan as presented.

THIS AGREEMENT for Professional Services must be fully executed by all parties and received by Albemarle & Associates, Ltd. along with the required retainer on or before July 5th, 2023. This Agreement for Professional Services becomes null and void if not received by aforesaid date. It is agreed that payment for services shall be made based upon completion of the tasks outlined within the scope of services, as set out in Sections IV and V, and shall not be contingent upon an event such as securing a permit(s), or any other similar event(s).

THIS AGREEMENT represents the entire Agreement between the parties, supersedes all prior agreements and understandings, and may be changed only by written amendment and executed by both parties. In testimony whereof, the parties hereto have hereunto set their hands this 5th day of June, 2023.

EXECUTED FOR:

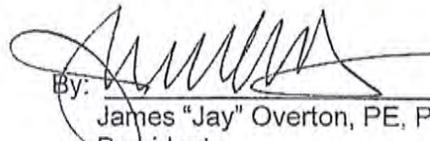
OBX LandCo Holdings LLC
P.O. Box 2298
Manteo, NC, 27954
(919) 961-3345 - Telephone
dmilner180@att.net - email

By: 
Doug Milner, Managing Member

Date: 6.5.2023

EXECUTED FOR:

Albemarle & Associates, Ltd.
P.O. Box 3989
115 West St. Clair Street
Kill Devil Hills, N.C. 27948
(252) 441-2113 – Telephone
(252) 441-0965 – Facsimile

By: 
James "Jay" Overton, PE, PLS
President

Date: 6.5.2023

Town of Kill Devil Hills Planning and Inspections
Commercial Site Plan Review Application*



Applicant

Name: Albemarle & Associates, Ltd
 Address: PO Box 3989
Kill Devil Hills, NC, 27948
 Phone: 252-441-2113
 Fax: 252-441-0965
 Cell: n/a

Property Owner

Name: OBX LandCo Holdings, LLC
 Address: PO Box 2298
Manteo, NC, 27954
 Phone: 919-961-3345
 Fax: n/a
 Cell: n/a

Property Location

Address: 1906 South Croatan Highway Lot, Block: Lots 98-101, Section 2
 Subdivision: Lake Drive Development Section 2 Pin#: 989313035787

Zoning District: Commercial LI-1 LI-2 OIR
 Total Lot Size: 37,265 Sq. Ft. Disturbed Area: 23,090 Sq. Ft.

Contractor

Company Name: (not yet known) License Number: _____
 Name: _____ Phone: _____
 Address: _____ Cell: _____
 Fax: _____
 Town Privilege License Number: _____

Construction Information

Type of Construction: _____
 Assembly Business Educational Factory/Industrial High Hazard
 Institutional Mercantile Residential Storage Utility/Misc.
 New Construction Addition Repair/Replace Remodel Other: _____

Square Footage Proposed:

Interior Space: 480 Sq. Ft. Covered Deck(s): n/a Sq. Ft. Storage: n/a Sq. Ft.
 Garage: 1,920 Sq. Ft. # of Bedrooms: n/a # of Open Deck(s): n/a
 Proposed Square Footage: 2,400 + Existing Square Footage: 2,145 = 4,545 Total Sq. Ft.
 % Impervious Coverage: 62.4 + % Pervious Coverage: 0 = 62.4 Total % Coverage
 # of Parking Spaces: Existing: _____ Proposed: 23 Total: 23
 Septic Tank Permit #: 21157 (hot tub sales) Construction Type: conventional / bed

Estimated Construction Cost (including labor and materials): (not yet known)

Flood Information

Flood Zone: VE AE X Base Flood Elevation: n/a
 Proposed First Floor Elevation: 11.0 (new) Sq. Ft Below Base Flood Elevation: n/a

**This form is designed as a guide for Commercial Site Plan Review.
 Additional plans and information will be required prior to building permits.*

Project Description

change of use from hot tub sales & service to boat sales and service. Project will include the construction of a 2,400 sf service building. Site work includes reconfiguration of existing parking lot and installation of stormwater management measures.

Required Site Plan Information Checklist:

- Permit Application (Completed)
- Site Plan Including the following
 - Submittal Requirements:
 - Vicinity Map
 - 15 Copies of Site Plan & Building Plan Elevations – Front, Side, and Rear
 - Tentative Health Department Approval
 - Site Plan Development Review Fee Paid in Full
 - Existing Conditions:
 - Boundary of Entire Lot
 - Width and Location of Existing Right of Ways
 - Nature, Purpose, Locations, and Size of Existing Easements
 - Iron Pins and Concrete Monuments
 - Scale (1" = 50" Minimum)
 - North Arrow
 - Streets Including Width of Pavement
 - All Underground Utilities, Gas/Propane Below or Above Grade
 - Dare Co. Register of Deeds Map Book/Subdivision Ref.
 - Street Address
 - Present Recorded Owner, Developer, Engineer contacts
 - Adjacent Property Owners, Adj. Use & Zone
 - Corp. of Engineers Report / Wetland Study
 - NFIP Flood Zone (ref: Elevation Datum (NAVD 1988))
 - Minimum, Lot Size indicated
 - Proposed Improvements:
 - Zoning Use Compliance/Setbacks labeled
 - Landscaping Plan / Buffers / Screening (per section 153.073)
 - Lighting Plan - photometric showing point output (section 153.074)
 - Sedimentation & Erosion Control Plan including details
 - Disturbed Areas delineated & areas calculated
 - Location of Sidewalks on the Croatan Highway and Curbs
 - Location of Sewer Facilities and Drain field
 - Proposed Building Type, # of Floors and dimensions, floor area ratio, Height
 - Existing and Finished Grades of Entire Site
 - Storm Water Management Plan including calculations
 - Total Units and Density per Acre (Multi-Family) or floor area ratio (in OIR)
 - Lot Size and Lot Coverage Calculation
 - Utility Plan indicating location & sizes of proposed improvements
 - Water Service Sizing Checklist
 - Layout, Size and Number of Parking Spaces including handicap w/ setbacks (Each Space Numbered)
 - Fire Lane and Driveways
 - Loading Zone (Commercial Sites)
 - Mail Delivery Cluster Sites (Multi-Family)

- Proposed First Floor Elevation
- Dumpster Pad Location
- Proposed Sign Location
- Sight triangle shown
- Commercial Building Plans showing architectural compliance
- Plans to N.C.D.O.T. (if required)
- NC Engineer/Land Surveyor Seal on Site Plan

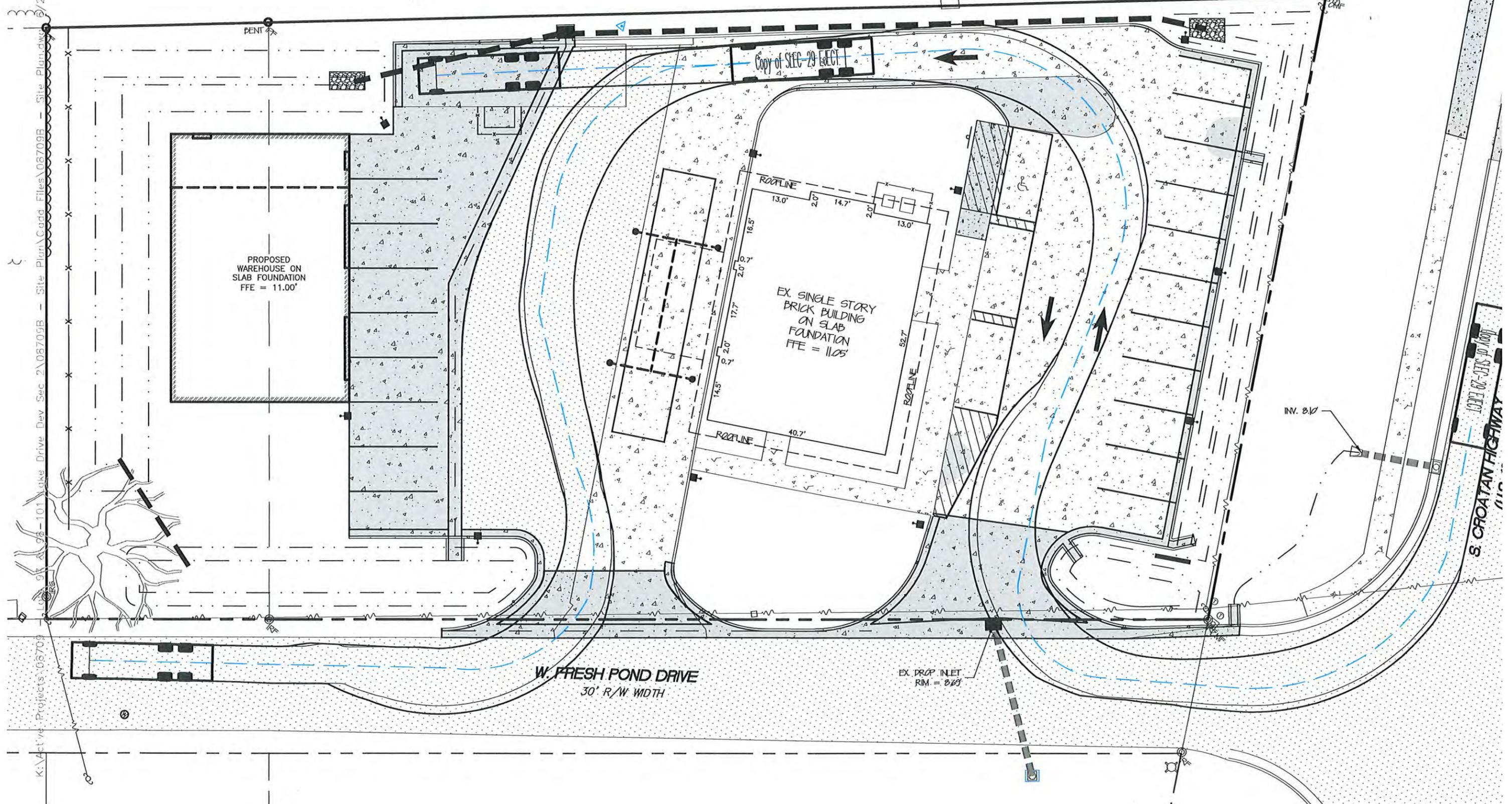
*** The items listed in the Site Plan portion of the above checklist represent information that must be indicated on any site plan submitted for review by the Kill Devil Hills Planning Department, Planning Board, and Board of Commissioners. All of the above required documents shall be submitted on or before the 3rd Tuesday of each month. Upon completion of review, the Planning Board shall transmit its recommendations to the Board of Commissioners. The Board of Commissioners shall review site plans on the second Monday of each month.

Signature of Applicant:

 (Date) 6/20/2023

K:\Active Projects\06709B - Lake Drive Dev Sec 2\06709B - Site Plan\06709B - Site Plan.dwg 6/29/2023 4:31:21 PM, 1:1, A

Commercial Refuse Truck Site Access Diagram



Copy of SPEC-29 ELEC
S. GROATAN HIGHWAY



VICINITY MAP
NTS

I. NARRATIVE:
OBX LANDCO HOLDINGS, LLC, INTENDS TO CONSTRUCT A 2,400 SF BOAT SERVICE BUILDING ON THE 0.265 ACRES AT THE NORTHWEST CORNER OF THE INTERSECTION OF US 158-CROATAN HIGHWAY AND WEST FRESH POND DRIVE. THE CONSTRUCTION WILL INCLUDE PARKING, LOADING AREA AND STORMWATER MANAGEMENT IMPROVEMENTS. APPROXIMATELY 0.53 ACRES OF THE SITE IS TO BE DISTURBED. CONSTRUCTION IS SCHEDULED TO BEGIN IN THE LATE SUMMER OF 2023.

THE SITE IS FAIRLY LEVEL, WITH SANDY SOILS, THE VACANT LOT IS HEAVILY VEGETATED, WHICH WILL BE CLEARED PRIOR TO CONSTRUCTION.
DISTURBED AREAS ARE TO BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION ACCORDING TO THE SEQUENCE OF CONSTRUCTION.

II. SOILS DESCRIPTION:
SOIL TYPES AS MAPPED IN THE SOIL SURVEY OF DARE COUNTY:
COROLLA FINE SAND (CoB)

III. CONSTRUCTION SEQUENCE:
• OBTAIN SITE PLAN APPROVAL
• OBTAIN ALL NECESSARY ENVIRONMENTAL PERMITS
• FLAG OR STAKE WORK LIMITS
• HOLD PRE-CONSTRUCTION MEETING
PHASE ONE:
• UTILIZE WEST DRIVEWAY FOR CONSTRUCTION ACCESS. SWEEP AS NEEDED TO PREVENT TRACKING OF SEDIMENT ONTO ADJACENT ROADWAYS.
• INSTALL SILT FENCE AND TREE PROTECTION
• CLEAR LOT OF EXISTING VEGETATION AS SHOWN

PHASE TWO:
• PLACE AND GRADE FILL MATERIALS
• ESTABLISH TEMPORARY VEGETATION ALONG ANY AREAS REQUIRED IN ACCORDANCE TO THE "SEDIMENTATION AND EROSION CONTROL NOTES"
• INSTALL INFILTRATION BASINS
• COMMENCE CONSTRUCTION OF NEW STRUCTURE
• CONSTRUCT NEW PARKING AND SIDEWALKS
• REMOVE SEDIMENTATION FROM WITHIN INFILTRATION AREA TO ESTABLISH INFILTRATIVE PROPERTIES
• ESTABLISH PERMANENT VEGETATION ON ALL DISTURBED AREAS (ON PROPERTY AND ADJACENT RIGHT-OF-WAY)
• FERTILIZE AND WATER DISTURBED AREAS UNTIL PERMANENT VEGETATION IS FIRMLY ESTABLISHED AND STABILIZATION IS ACHIEVED
• REMOVE SILT FENCE

IV. SEDIMENTATION AND EROSION CONTROL NOTES:
1. PRECONSTRUCTION CONFERENCE:
PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER'S REPRESENTATIVE AND A REPRESENTATIVE (IF REQUIRED) IN ORDER TO IDENTIFY AND MARK SPECIFIC ELEMENTS WHICH ARE TO BE PROTECTED. TREES SHALL BE PROTECTED IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENTATION CONTROL HANDBOOK.
2. INSTALLATION OF EROSION CONTROL MEASURES:
PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, ALL EROSION AND SEDIMENTATION CONTROL MEASURES IDENTIFIED ON THIS PLAN SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS AND ALL PERMIT CONDITIONS.
3. UTILITIES:
PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL HAVE THE APPROPRIATE UNDERGROUND UTILITIES LOCATED. CONTACT NC811 AT 811 OR 800-632-4949. UTILITIES SHOWN ARE TAKEN FROM EXISTING RECORDS, FIELD OBSERVATIONS AND/OR UTILITY LOCATING SERVICE AND ARE NOT GUARANTEED TO BE ACCURATE OR COMPLETE.
4. ACCESS TO SITE:
ALL CONSTRUCTION TRAFFIC SHALL UTILIZE THE CONSTRUCTION ENTRANCE AS DESIGNATED ON THIS PLAN.
5. LIMITS OF DISTURBANCE:
THE CONTRACTOR SHALL ENSURE THAT AREAS OUTSIDE OF THE LIMITS OF LAND DISTURBING AS WELL AS EXISTING IMPROVEMENTS SPECIFICALLY NOTED TO REMAIN ARE NOT ADVERSELY IMPACTED BY ANY CLEARING ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF ITEMS DAMAGED OUTSIDE THE LIMITS OF DISTURBANCE OR OTHERWISE NOTED TO REMAIN.

6. STABILIZATION:
EXPOSED SWALES, DITCHES, DIKES OR OTHER SLOPES STEEPER THAN 3(H):1(V) SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVER WITHIN 7 CALENDAR DAYS. ALL OTHER EXPOSED EARTHEN AREAS SHALL BE STABILIZED WITH A TEMPORARY OR PERMANENT GROUND COVER WITHIN 14 CALENDAR DAYS OF THE COMPLETION OF ANY PHASE OF GRADING.
7. INSPECTIONS REQUIRED:
SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED, MAINTAINED AND REPAIRED AS NECESSARY BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN COMPLETED SELF-INSPECTION / MONITORING FORMS (COMPLETED WEEKLY WITH DAILY RAINFALL TOTALS) THROUGHOUT THE PROJECT. THE SITE SHALL ALSO BE INSPECTED AFTER ANY RAINFALL EVENT EQUAL OR GREATER THAN 0.5 INCHES OVER A 24 HOUR PERIOD.
8. CORRECTIVE MEASURES:
ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL WORK IS COMPLETE AND ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. IF EXCESSIVE WIND EROSION OR STORM WATER RUNOFF DEVELOPS DURING TIME OF CONSTRUCTION IN ANY LOCATION ON THE PROJECT SITE, ADDITIONAL SAND OR SILT FENCE SHALL BE INSTALLED AS DIRECTED BY ENGINEER. SEE SAND OR SILT FENCE DETAIL.
9. DEBRIS REMOVAL:
ALL CLEARING DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF IN A LAWFUL MANNER. NO BURNING OF DEBRIS ON SITE IS PERMITTED. NO ON-SITE BURNING IS PERMITTED UNLESS OTHERWISE APPROVED BY THE LOCAL FIRE MARSHALL, MUNICIPAL AGENCY OF JURISDICTION AND THE OWNER.

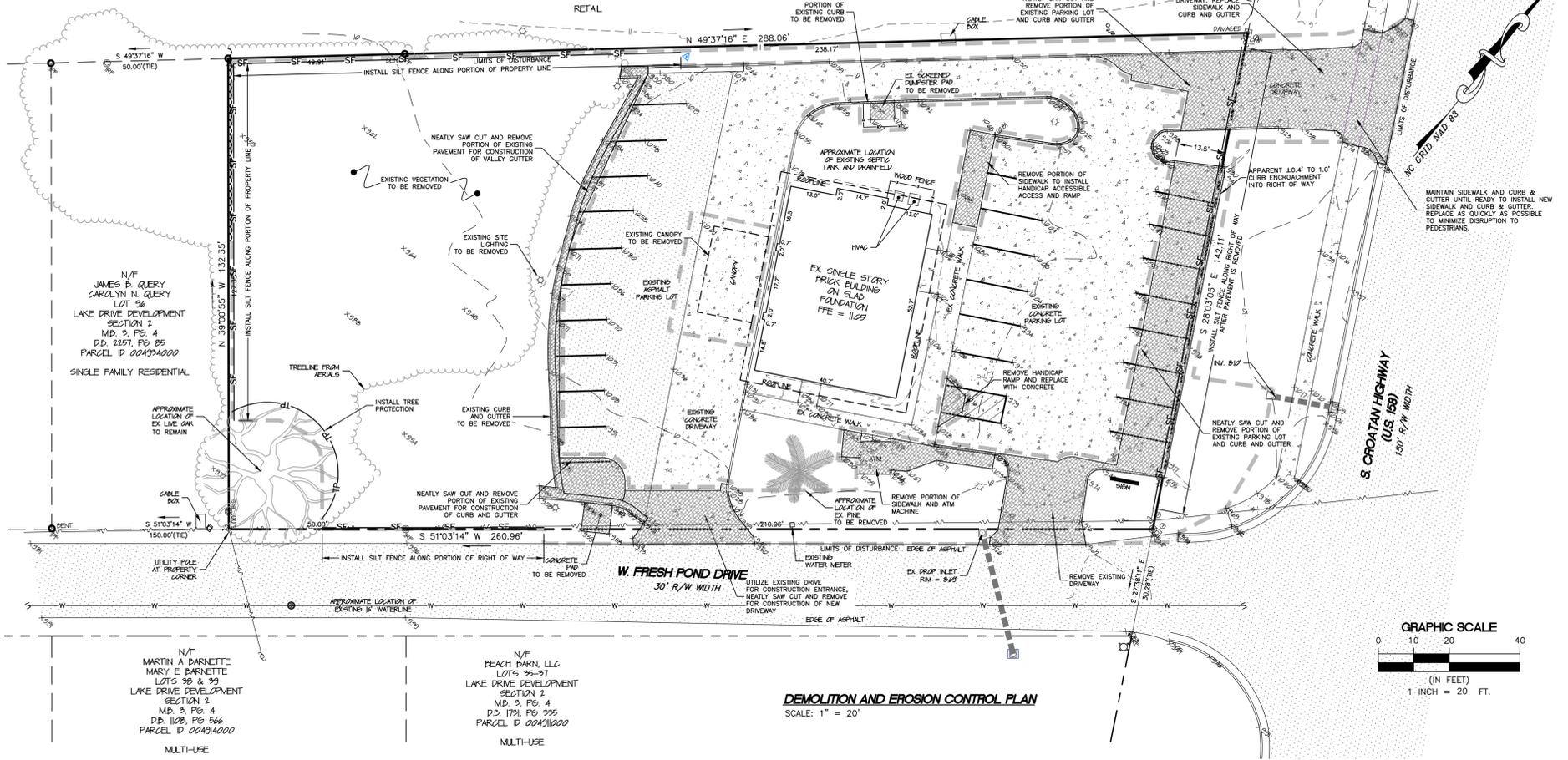
10. EXCAVATION AND EMBANKMENT:
ANY OFF-SITE MATERIAL BROUGHT ONTO THE SITE TO BE USED FOR GRADING FILL SHALL BE OBTAINED FROM A PERMITTED BORROW PIT. FILL SHALL CONFORM TO PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT. NO BORROW IS PERMITTED FROM THE SITE.
11. EXISTING INFORMATION:
THE EXISTING SURVEY, BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON SURVEY INFORMATION PROVIDED BY SEALEVEL AS SURVEYED ON FEBRUARY 28, 2023.

V. DEMOLITION NOTES
ALL EXISTING IMPROVEMENTS SHOWN WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED UNLESS SPECIFICALLY NOTED TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL TO AN OFFSITE LOCATION PROVIDED BY THE CONTRACTOR.

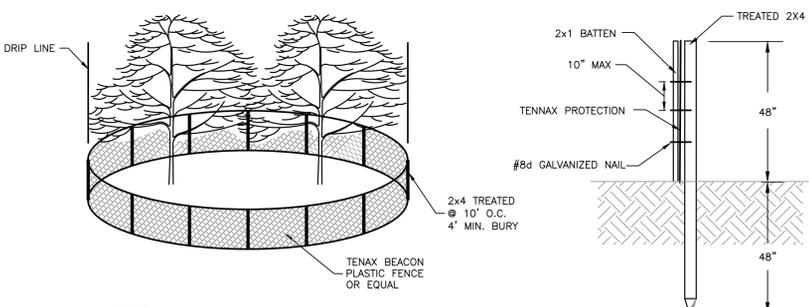
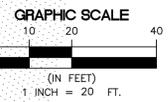
WARNING:
LOCATION OF EXISTING UNDERGROUND UTILITIES IS UNKNOWN AND HAS NOT BEEN SHOWN ON THESE DRAWINGS. UNDERGROUND UTILITIES ENCOUNTERED SHALL IMMEDIATELY BE REPORTED TO THE OWNER.

**PRELIMINARY ONLY
NOT FOR
CONSTRUCTION**

N/F
EQUAGA HOLDINGS, LLC
LOTS 44, 46, 48, 50, 52, 54
& PT 42
LAKE DRIVE DEVELOPMENT
M.D. 1, PG. 157
D.D. 2326, PG. 654
D.D. 2323, PG. 192
D.D. 1029, PG. 228
PARCEL ID 004912042

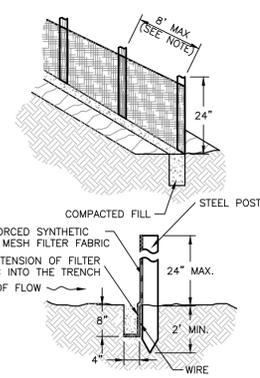


DEMOLITION AND EROSION CONTROL PLAN
SCALE: 1" = 20'



NOTES:
1. IN SPITE OF PRECAUTIONS, SOME DAMAGE TO PROTECTED TREES MAY OCCUR. IN SUCH CASES, REPAIR ANY DAMAGE TO THE CROWN, TRUNK OR ROOT SYSTEM IMMEDIATELY.
2. REPAIR ROOTS BY COVERING DAMAGED ROOTS WITH MOIST TOPSOIL OVER EXPOSED ROOTS.
3. REPAIR DAMAGE TO BARK BY TRIMMING AROUND THE DAMAGED AREAS. TAPER THE CUT TO PROVIDE DRAINAGE, AND PAINT WITH TREE PAINT.
4. CUT OFF ALL DAMAGED TREE LIMBS ABOVE THE TREE COLLAR AT THE TRUNK OR MAIN BRANCH. USE THREE SEPARATE CUTS TO AVOID PEELING BARK FROM HEALTHY AREAS OF THE TREE.
5. BARRIER SHOULD BE INSTALLED OUTSIDE THE DRIP LINE OF TREE BRANCHES AS FAR AS PRACTICAL.

TREE PROTECTION DETAIL
NTS



SILT FENCE DETAIL
NTS

SITE STABILIZATION REQUIREMENTS		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETER AND HOW ZONES)

SEEDING SCHEDULE

APRIL 1 - MAY 15 PERMANENT SEEDING		RATE
K-31 FESCUE	3 LB/1000 SF	
COMMON BERMUDAGRASS	1 LB/1000 SF	
WINTER RYE GRASS	3 LB/1000 SF	
NOTE: DELETE RYE GRASS IF OVERSEEDING ESTABLISHED RYE OR FESCUE. DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.		
MAY 15 - JULY 15 PERMANENT SEEDING		RATE
K-31 FESCUE	3 LB/1000 SF	
COMMON BERMUDAGRASS	1 LB/1000 SF	
GERMAN MILLET	3 LB/1000 SF	
NOTE: DELETE MILLET IF OVERSEEDING ESTABLISHED MILLET OR FESCUE. DELETE FESCUE IF OVERSEEDING ESTABLISHED FESCUE.		
AUGUST 15 - APRIL 1 TEMPORARY SEEDING		RATE
K-31 FESCUE	3 LB/1000 SF	
WINTER RYE GRASS	5 LB/1000 SF	
SOIL AMENDMENTS		
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 500 LB PER ACRE OF 10-10-10 FERTILIZER.		
MULCH		
USE JUTE, EXCELISOR MATTING OR OTHER EFFECTIVE CHANNEL LINING MATERIAL TO COVER BOTTOM AND SIDES OF SWALES. ANCHOR MATTING PER MANUFACTURERS RECOMMENDATIONS. HYDROSEEDING IS ALSO AN ACCEPTABLE METHOD OF TEMPORARY STABILIZATION.		
MAINTENANCE		
A MINIMUM OF 3 WEEKS IS REQUIRED TO FOR ESTABLISHMENT. INSPECT AND REPAIR MULCH FREQUENTLY. FERTILIZE THE FOLLOWING SPRING WITH 50 LB/ ACRE NITROGEN.		

811
Know what's below.
Call before you dig.

Albemarle & Associates, Ltd.
Engineering - Environmental - Land Planning

NORTH CAROLINA PROFESSIONAL SEAL
Professional Engineer
No. 08709B
Exp. 12/31/2024

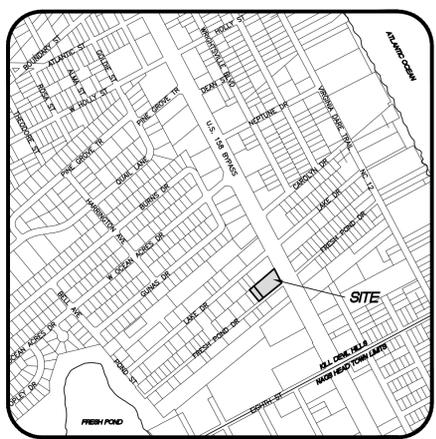
NO.	DATE	DESCRIPTION	BY

DEMOLITION AND EROSION CONTROL PLAN
OBX LANDCO HOLDINGS, LLC
1906 S CROATAN HIGHWAY
NORTH CAROLINA
DARE COUNTY
ATLANTIC TOWNSHIP
KILL DEVIL HILLS

DATE: 06-20-2023
SURVEYED: SEE NOTES
DESIGNED: MJM
DRAWN: FCA
CHECKED: MJM
FILE: 08709B

SCALE:
1" = 20'

C101
PROJ. NO. 08709B



VICINITY MAP

SITE PLAN NOTES:

1. OWNER/DEVELOPER: OBX LANDCO HOLDINGS, LLC
PO BOX 2298
MANTOE, NC 27954
(919) 961-3345

2. THE OWNER INTENDS TO CONSTRUCT A 2,400 SF SINGLE STORY BUILDING ON THE PROPERTY AT THE NORTHWEST CORNER OF US 158-CROATAN HIGHWAY AND WEST FRESH POND DRIVE, KILL DEVIL HILLS, NORTH CAROLINA. THE EXISTING STRUCTURE WILL SERVE AS THE BOAT SALES AND THE NEW STRUCTURE WILL SERVE AS THE BOAT SERVICE BUILDING.

THE PROPERTY IS PARCEL 004936000 - LOTS 98-101, LAKE DRIVE DEVELOPMENT, SECTION TWO, M.B. 3, S.L. 4. RECORDED IN D.B. 1909, PG. 47. DARE COUNTY PIN NO. 9893 13 03 5787;

PARCEL 004935000 - LOT 97, LAKE DRIVE DEVELOPMENT, SECTION TWO, M.B. 3, S.L. 4. RECORDED IN D.B. 1909, PG. 47. DARE COUNTY PIN NO. 9893 13 03 5732; AND

PROPERTY ADDRESS: 1906 S. CROATAN HIGHWAY, KILL DEVIL HILLS

3. THE SITE IS LOCATED IN FIRM ZONE "X" FIRM MAP NUMBER 3720989300K, EFFECTIVE DATE JUNE 19, 2020. SUBJECT TO CHANGE BY FEMA REGULATORY FLOOD PROTECTION ELEVATION (RFPE) IN SHADED X AND X ZONES WEST OF NC-12 IS 8' NAVD 1988 OR NATURAL GRADE ELEVATION IF NATURAL GRADE ELEVATION IS GREATER THAN 8' NAVD 1988.

4. THE EXISTING SURVEY AND SITE TOPOGRAPHIC INFORMATION SHOWN IS BASED UPON SURVEY INFORMATION PROVIDED BY SEALEAVE AS SURVEYED ON FEBRUARY 28, 2023.

5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE SPECIFIED. ELEVATIONS SHOWN ARE HEREON PER NAVD88.

6. AREAS SHOWN ARE BY COORDINATE METHOD.

7. THERE ARE NO DELINEATED WETLANDS ON THE PROJECT SITE.

8. THE PROPERTY IS ZONED (C) COMMERCIAL AND RETAIL (BOAT SALES AND SERVICE) IS A PERMITTED USE.

9. AREA TO BE DISTURBED 0.53 ACRES. ALL DISTURBED AREAS SHALL BE STABILIZED WITH A COASTAL VEGETATION MIX.

10. PARKING REQUIREMENTS:
RETAIL - BOAT SALES, RENTALS AND REPAIR
1 SPACE PER 200 SF GROSS FLOOR AREA
EXISTING BUILDING
(1 SPACE/200 SF) 2177 SF = 10.9 SPACES
PROPOSED BUILDING
(1 SPACE/200 SF) 2400 SF = 12.0 SPACES
PARKING SPACES REQUIRED = 22.9 SPACES REQUIRED
PARKING SPACES PROVIDED = 23 SPACES PROVIDED (INCLUDES 1 HC SPACE)

11. MINIMUM BUILDING SETBACKS:
FRONT: 30'
REAR: 10'
SIDES: 10' (15' CORNER LOTS)

12. LOT AREA - 37,265 SF (0.855 ACRES)

13. COVERAGE IS AS FOLLOWS:
COVERAGE ALLOWED - 65% (24,222.25 SF)

EXISTING BUILDING	2,177.35 SF
SIDEWALK/CONCRETE	1,322.16 SF
DUMPSTER	31.39 SF
PARKING	15,409.07 SF
TOTAL	18,939.97 SF (50.8%)
PAVEMENT/CONCRETE TO BE REMOVED	(3,786.20 SF)
PROPOSED BUILDING	2,400.00 SF
NEW PAVEMENT/CONCRETE	5,720.90 SF
TOTAL	23,274.67 SF (62.5%)

14. ALL BUFFERING SHALL BE ERECTED, ALTERED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE TOWN OF KILL DEVIL HILLS ZONING ORDINANCE. SEE SHEET C202 FOR LANDSCAPE BUFFER REQUIREMENTS.

15. SITE LIGHTING SHALL CONSIST OF DOMINION POWER COBRA LED AREA LIGHTS (14,500 LUMENS/250 WATT EQUIVALENT) STOCK #42329814, WITH TYPE 3 DISTRIBUTION MOUNTED AT 30'. ALL LIGHTING TO BE INSTALLED PER PARAGRAPH 153.074 OF THE TOWN OF KILL DEVIL HILLS ZONING ORDINANCE. ALL LIGHT PRODUCED ON-SITE SHALL BE CONTAINED WITHIN THE PERIMETER OF THE SITE BY DESIGN, ORIENTATION OR SHIELDING OF THE LIGHT SOURCE.

16. ALL NEW UTILITIES ARE TO BE PLACED UNDERGROUND.

17. WASTEWATER FROM THIS FACILITY WILL BE TREATED AND DISPOSED OF WITH THE EXISTING ON-SITE SEPTIC SYSTEM UNDER PERMIT NO. S22-18944 ISSUED BY THE DARE COUNTY HEALTH DEPARTMENT.

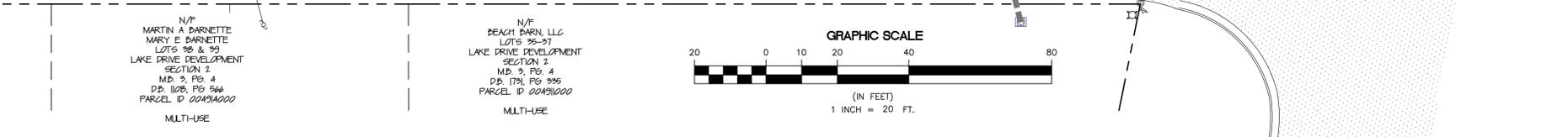
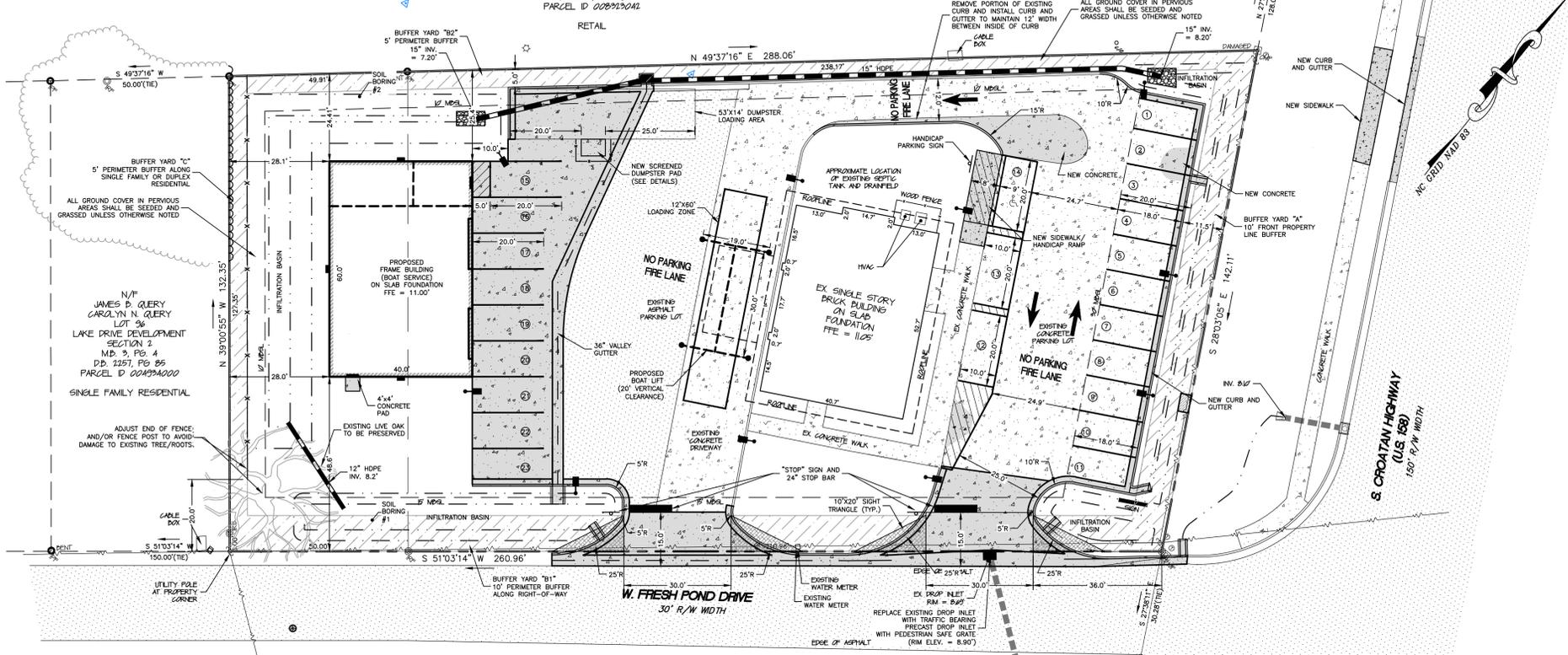
18. GARBAGE COLLECTION BY SIDE LOADING DUMPSTER.

19. THE STORMWATER FROM THE PARKING AREAS WILL BE CONVEYED, VIA SHEET FLOW TO SHALLOW INFILTRATION BASINS LOCATED ALONG THE PERIMETER OF THE PROPERTY.

20. THE BUILDING WILL COMPLY WITH THE NORTH CAROLINA STATE BUILDING CODE AND CURRENT NFPA REQUIREMENTS.

21. SIGNS SHALL BE ERECTED, ALTERED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE TOWN OF KILL DEVIL HILLS ZONING ORDINANCE. ANY PROPOSED SIGNS SHALL REQUIRE A PERMIT.

**PRELIMINARY ONLY
NOT FOR
CONSTRUCTION**



LEGEND

	CONCRETE MONUMENT FOUND		EXISTING CURB INLET
	IRON PIPE FOUND		PROPOSED DROP INLET
	IRON ROD FOUND		FLARED END SECTION
	IRON ROD SET		RIP RAP
	RIGHT OF WAY		STORMWATER FLOW ARROW
	PROPERTY BOUNDARY		EXISTING DRAINAGE PIPE
	ADJACENT PROPERTY LINE		PROPOSED DRAINAGE PIPE
	EXISTING POWER POLE		EXISTING DITCH/SWALE
	EXISTING GUY WIRE		PROPOSED DITCH/SWALE
	OVERHEAD ELECTRIC		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE PEDESTAL		EXISTING WATER METER
	EXISTING CABLE TV PEDESTAL		EXISTING WATER VALVE
	PROPOSED LIGHT POLES		EXISTING MANHOLE
	EXISTING CONTOURS		EXISTING WATERLINE
	PROPOSED CONTOURS		HANDICAP PARKING
	EXISTING SPOT ELEVATIONS		SIGNAGE
	PROPOSED SPOT ELEVATIONS		TRAFFIC FLOW ARROWS
	EXISTING TREELINE		SILT FENCE
	EXISTING FENCE		LIMITS OF DISTURBANCE
	PROPOSED FENCE		
	EXISTING CONCRETE		
	EXISTING ASPHALT PAVEMENT		
	PROPOSED CONCRETE PAVEMENT		

811
Know what's below.
Call before you dig.

Albemarle & Associates, Ltd.
Engineering - Environmental - Land Planning

Professional Seal
Professional Engineer
No. 123672
State of North Carolina

REVISIONS

NO.	DATE	DESCRIPTION
1	07/28/2023	PER TRAC COMMENTS

SITE PLAN
OBX LANDCO HOLDINGS, LLC
1906 S CROATAN HIGHWAY
KILL DEVIL HILLS
DARE COUNTY
ATLANTIC TOWNSHIP
NORTH CAROLINA

DATE:	06.20.2023
SURVEYED:	SEE NOTES
DESIGNED:	MJM
DRAWN:	KCA
CHECKED:	MJM
FILE:	08709B

SCALE:
1" = 20'
C201
PROJ. NO. 08709B

K:\Active Projects\08709B - Lots 97 & 98-101 Lake Drive Dev Sec 2\08709B - Site Plan\Cadd Files\08709B - Site Plan.dwg, 7/5/2023 9:51:14 AM, 1:1, ALBEMARLE & ASSOCIATES, LTD., C-1027

LANDSCAPE NOTES:

PREPARATION:
LAYOUT TREE AND SHRUB LOCATIONS AND AREAS AND SECURE LANDSCAPE DESIGNERS APPROVAL BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUESTED. FINE GRADE LAWN AREAS TO A SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE AND DRAG LAWN AREAS. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINAL GRADE. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED IMMEDIATELY AFTER GRADING.

EXCAVATION FOR TREES AND SHRUBS:
EXCAVATE PITS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. FOR BALLED AND BURLAPPED, AND POTTED (B&P TREES AND SHRUBS), MAKE EXCAVATIONS AT LEAST HALF AGAIN AS WIDE AS THE ROOT BALL DIAMETER AND EQUAL TO THE ROOT BALL DEPTH, PLUS ALLOWING FOR SETTING OF ROOT BALL ON A LAYER OF COMPACTED BACKFILL.

PLANTING TREES AND SHRUBS:
SET BALLED AND BURLAPPED STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE. PLUMB AND IN THE CENTER OF THE PIT OR TRENCH, WITH THE TOP OF THE ROOT BALL AT THE SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES. WHEN SET, PLACE ADDITIONAL BACKFILL AROUND BASE AND SIDES OF ROOT BALL, AND WORK EACH LAYER TO ELIMINATE VOIDS AND AIR POCKETS. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL. MULCH PITS, TRENCHES AND PLANTED AREAS. PROVIDE NOT LESS THAN 3" THICKNESS OF MULCH AND FINISH LEVEL WITH ADJACENT GRADE.

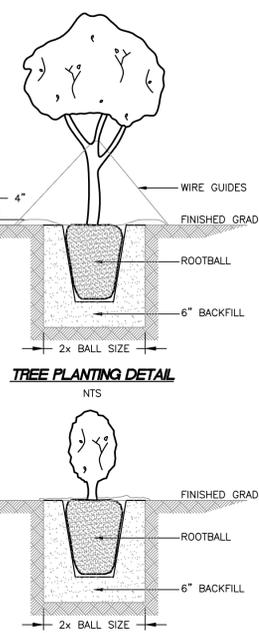
SEEDING NEW LAWNS:
DO NOT USE WET SEED OR SEED WHICH IS SLIGHTLY MOLDY OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE. SOW SEED USING A DROP SPREADER OR SEEDING MACHINE. DO NOT SEED WHEN WIND VELOCITY EXCEEDS 5 MPH UNLESS USING A DROP SPREADER. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITIES IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. SOW NOT LESS THAN THE QUANTITY OF SEED SPECIFIED OR SCHEDULED BY THE SEED MANUFACTURER OR SUPPLIER FOR THE TYPE OF SEED BEING SOWN. RAKE SEED LIGHTLY INTO TOP 1/8" OF SOIL. ROLL LIGHTLY AND WATER WITH A FINE SPRAY. LAY TURF STARTING IN THE CENTER AND WORKING TOWARDS THE SIDES. TURF SHALL BE LAID PARALLEL TO THE LONGEST EDGE OF FINISHED AREA AND SHALL BE LAID WITH STAGGERED SEAMS. EDGE TURF AFTER INSTALLATION IS COMPLETED. WATER THOROUGHLY.

CLEAN-UP AND PROTECTION:
DURING LANDSCAPE WORK, KEEP PAVEMENTS CLEAN AND WORK AREA IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.

LANDSCAPING REQUIREMENTS:

- (A) **FRONT PROPERTY LINE**
1 TREE / 10 LF OF LANDSCAPE AREA (142 / 10) = 14 TREES (14 PROVIDED)
1 SHRUB / 10 LF OF LANDSCAPE AREA (142 / 10) = 14 SHRUBS (14 PROVIDED)
- (B) **ALONG PROPERTY LINES NOT ABUTTING SINGLE FAMILY OR DUPLEX DWELLINGS (STREET)**
1 TREE / 30 LF OF LANDSCAPE AREA (215 / 30) = 7 TREES, (7 PROVIDED)
1 SHRUB / 10 LF OF LANDSCAPE AREA (215 / 10) = 22 SHRUBS, (22 PROVIDED)
NOTE: LINEAR FOOTAGE ACCOUNTS FOR PRESERVATION OF THE EXISTING LIVE OAK AT THE SOUTHWEST CORNER OF THE SITE, WHICH CONTAINS ±30' OF CANOPY ALONG THE RIGHT OF WAY AND ±20' OF CANOPY ALONG THE WEST PROPERTY LINE.
- (B2) **ALONG PROPERTY LINES NOT ABUTTING SINGLE FAMILY OR DUPLEX DWELLINGS**
1 TREE / 30 LF OF LANDSCAPE AREA (273 / 30) = 9 TREES, (9 PROVIDED)
1 SHRUB / 10 LF OF LANDSCAPE AREA (273 / 10) = 27 SHRUBS, (27 PROVIDED)
- (C) **ALONG PROPERTY LINES ABUTTING SINGLE FAMILY OR DUPLEX DWELLINGS**
6" WOOD OR VINYL FENCE 5' OFF PROPERTY LINE AND ORNAMENTAL LANDSCAPING

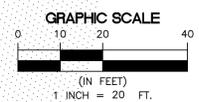
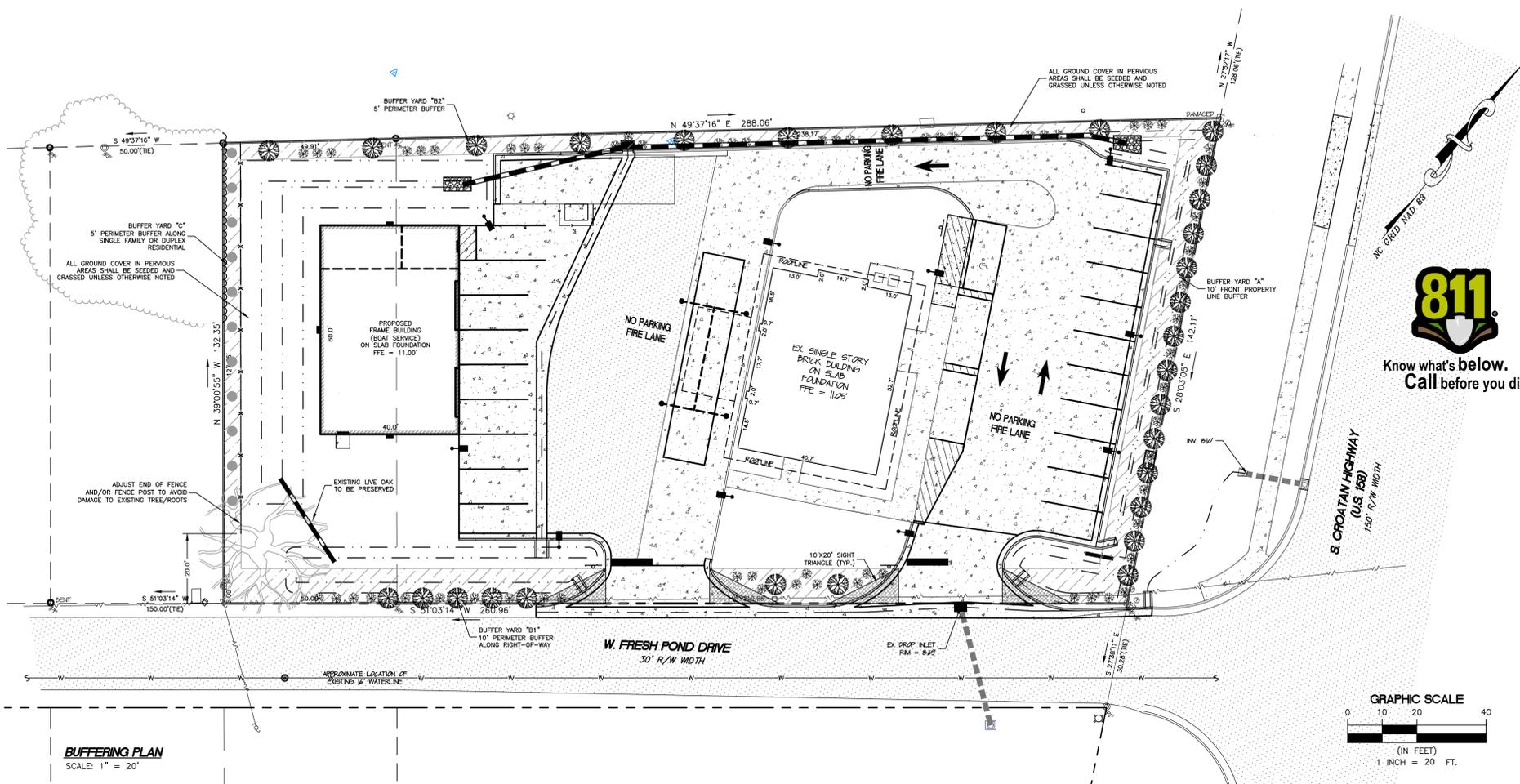
- TREES**
(RECOMMENDED - JAPANESE BLACK PINE, RED BAY WILD OLIVE, CREPE MYRTLE)
- SHRUBS**
(RECOMMENDED - JAPANESE PITTOSPORUM, NORTHERN BAYBERRY, YEDDO HAWTHORNE, OLEANDER, DWARF WITH ALDER)
- ORNAMENTAL GRASSES OR HERBACEOUS PLANTS (<30" TALL)**
(RECOMMENDED - SEASIDE GOLDEN ROD, BLANKET FLOWER, CYPRESS LAVENDER COTTON, BUTTERFLY WEED, PURPLE CONEFLOWER)



VEGETATION SIZE REQUIREMENTS

TREES	DIAMETER	HEIGHT
DECIDUOUS	1.5"	5'
EVERGREEN	1.5"	3'
SHRUBS	N/A	15"
DECIDUOUS	N/A	12"
EVERGREEN	N/A	12"

(NOTE: SIZES ARE AT TIME OF PLANTING)



PRELIMINARY ONLY
NOT FOR CONSTRUCTION



Cobra
The Cobra style fixture is an Enclosed Flat Lens luminaire that provides a full cut-off distribution for lighting residential roadways and smaller parking areas.

- LIGHTING LEGEND**
- 14,500 LUMEN COBRA CUT-OFF MOUNTED ON 30' POLES
 - 3,137 LUMEN COOPER LIGHTING CUT-OFF WALL PACK MOUNTED AT 12' HEIGHT

Comparable HID Wattage	Finish Color	Initial Lamp Lumens	Lighting Pattern	Correlated Color Temperature (CCT)	Input Wattage	Input Amps	Billing Tar.	EPA	8-U-G Rating	Recommended Mounting Height (ft.)	Luminaire Stock #	WMIS CU Code
250	Gray	14500	Type III	3000K	108	1.05	14	1.08	1-3-3	30-35'	43229814	LEDC001131600K

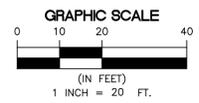
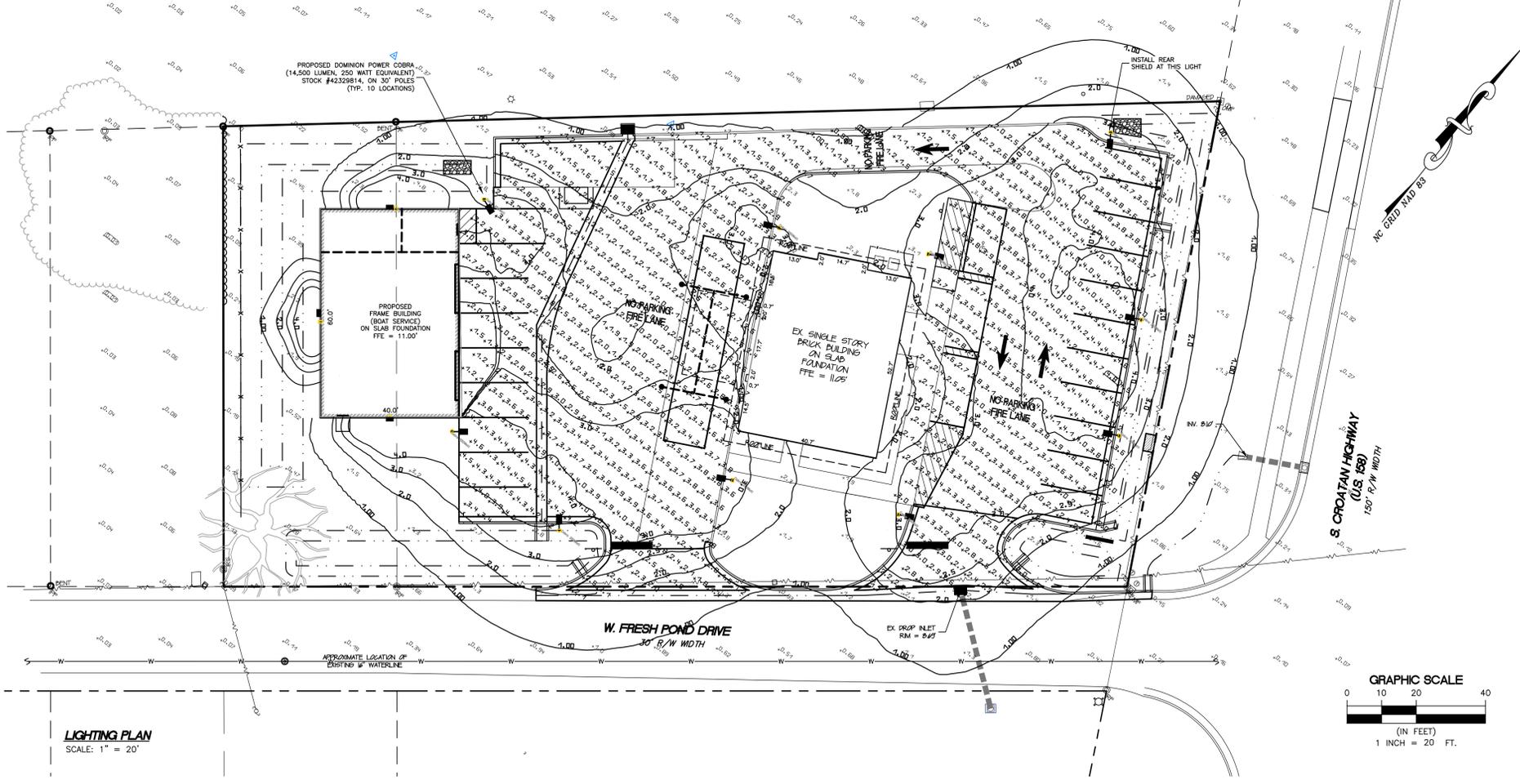
Luminaire list (Site 1)

Index	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
	Cobra 250Watt	Formed plastic BMC housing, clear acrylic lens, white time r reflector	R3WL3000SP8 (R3WL-A-HT-3ME-1-4L-30K7-UL-GY-N)	1x 66 white LEDs	14127 lm	0.80	136 W

Luminaire list (Building 1)

Index	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
1	STREETWORKS WALPAK CUTOFF BLED 4000K	WKP6BLEDEDFC-7040	1x Eaton LED 4000K	3137 lm	0.80	46.7 W	3

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Parking Lot	Perpendicular illuminance	0.91 fc	4.76 fc	2.96 fc	3.27	5.26



Albemarle & ASSOCIATES, LTD.
Engineering - Environmental - Land Planning

811
Know what's below. Call before you dig.

North Carolina Professional Seal
Professional Engineer
No. 102672
Exp. 12/31/2025

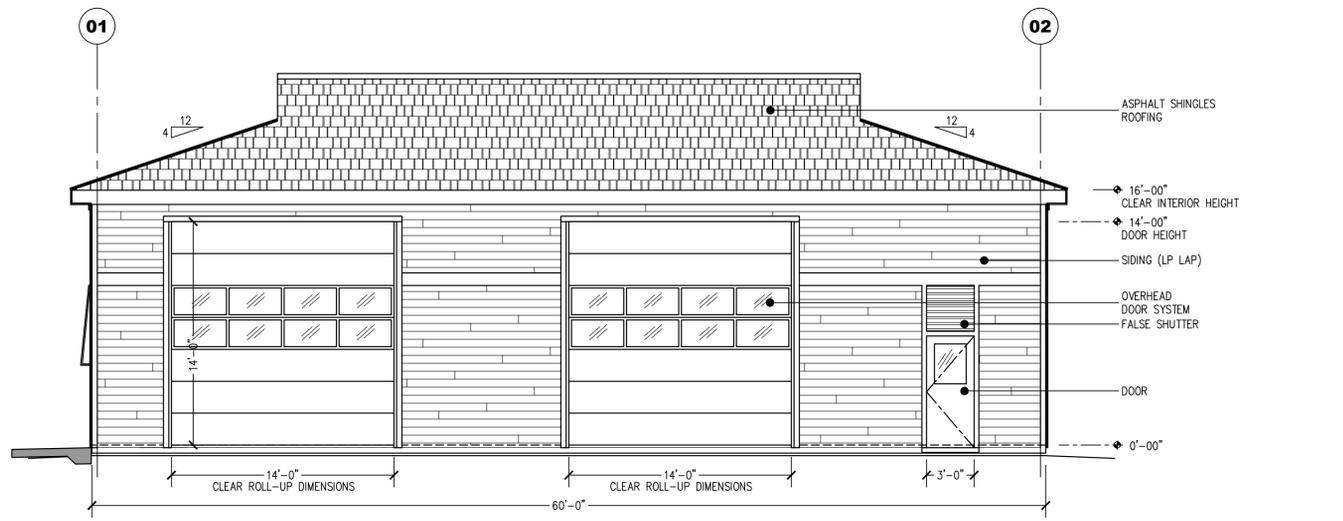
REVISIONS

NO.	DATE	DESCRIPTION
1	02/28/2024	PRELIM COMMENTS

BUFFERING AND LIGHTING PLAN
OBX LANDCO HOLDINGS, LLC
1906 S CROATAN HIGHWAY
KILL DEVIL HILLS, NORTH CAROLINA
DARE COUNTY, ATLANTIC TOWNSHIP

DATE: 06.20.2023
SURVEYED: SEE NOTES
DESIGNED: MJM
DRAWN: FCA
CHECKED: MJM
FILE: 08709B

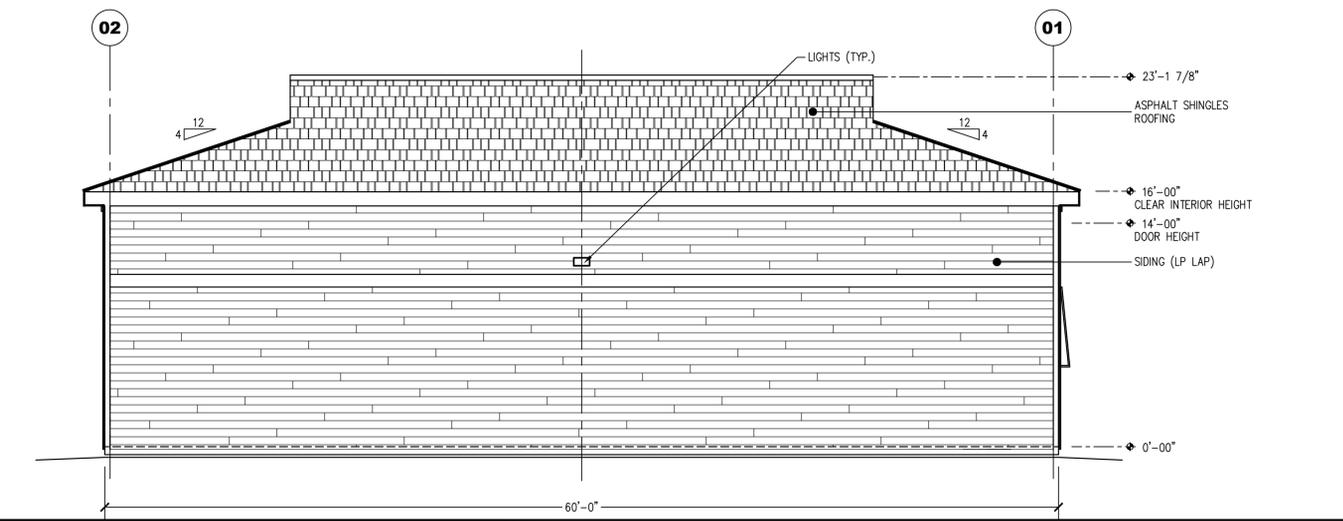
SCALE: 1" = 20'
C202
PROJ. NO. 08709B



FRONT ELEVATION

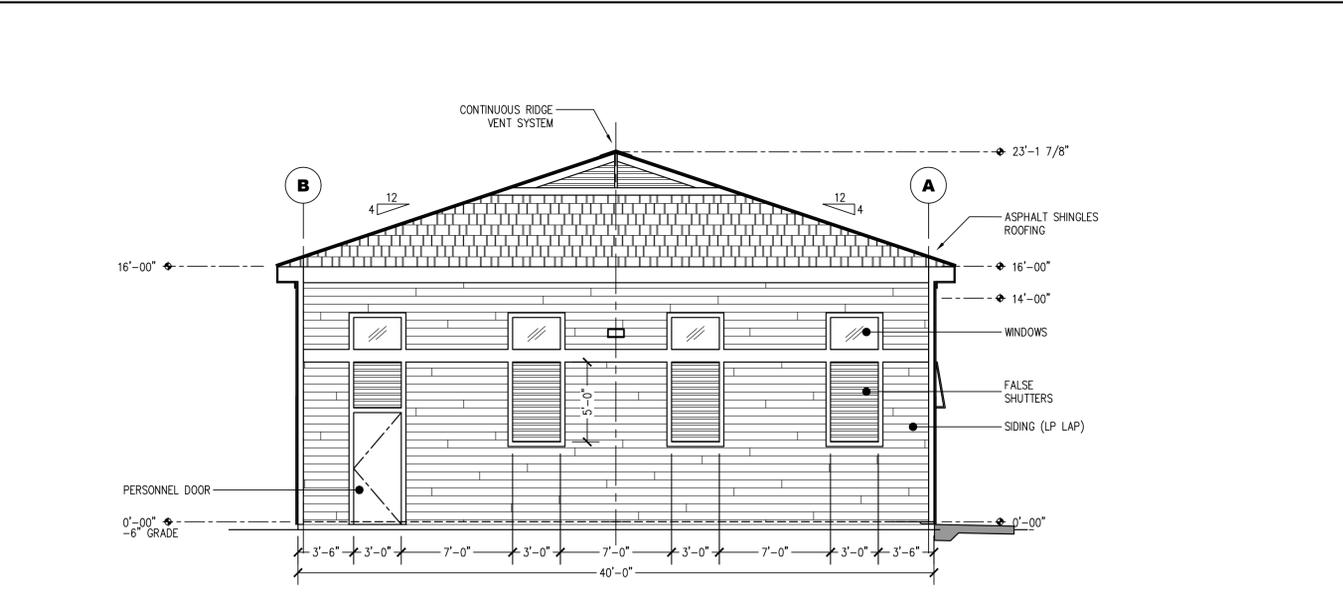
SCALE: 3/16" = 1'

FRONT FACADE AREA = 960 SF
 GLAZING AND GLAZING FACADE REQUIRED = 96 SF
 GLAZING AND GLAZING PROVIDED = 126 SF



REAR ELEVATION

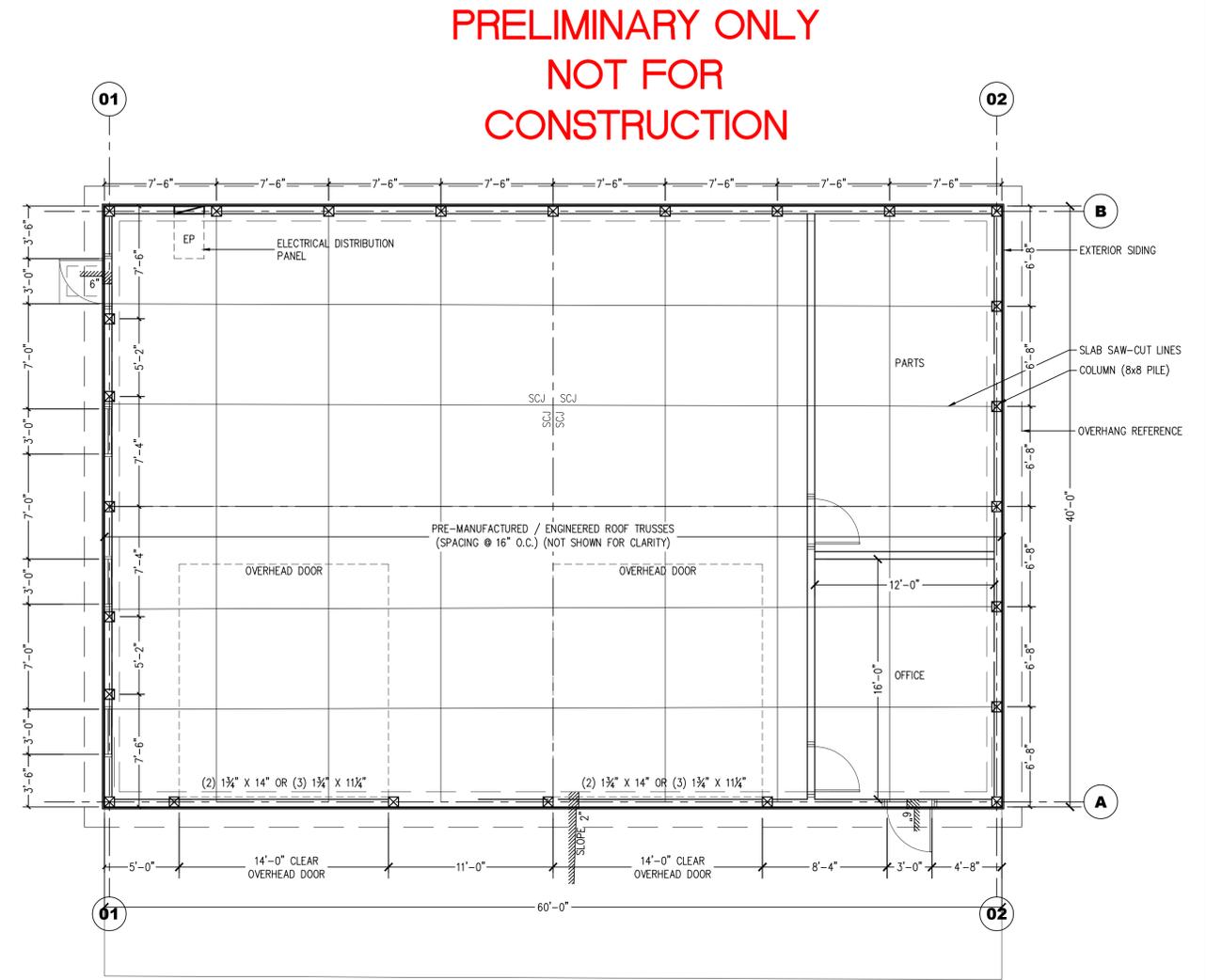
SCALE: 3/16" = 1'



LEFT ELEVATION

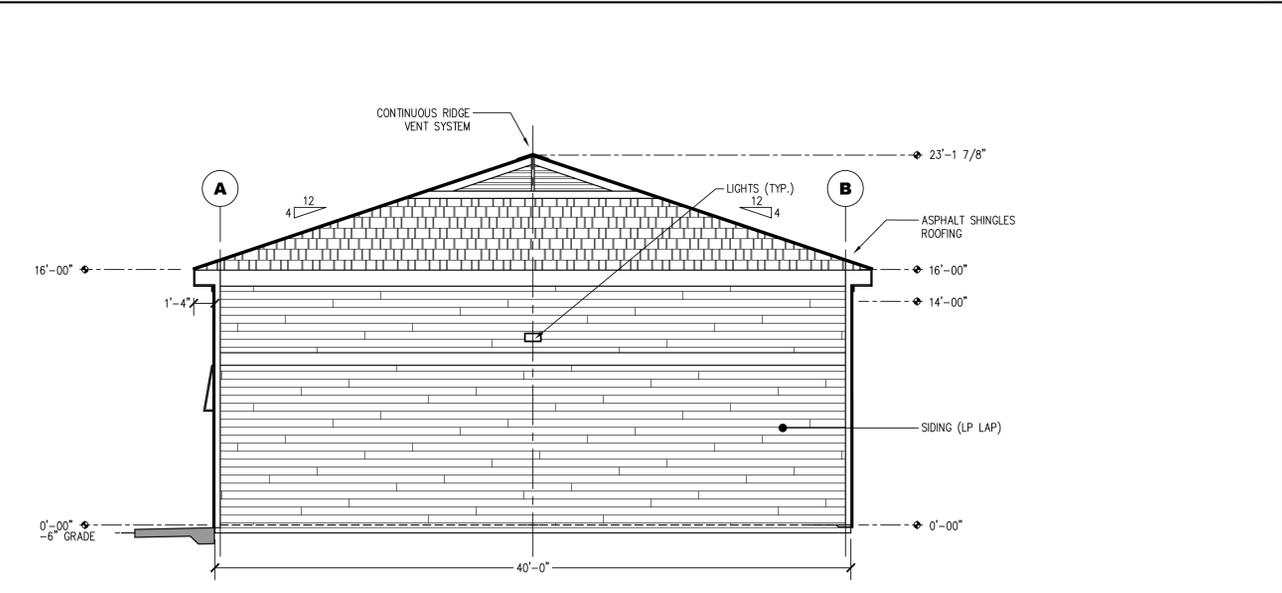
SCALE: 3/16" = 1'

SIDE FACADE AREA = 640 SF
 GLAZING AND GLAZING FACADE REQUIRED = 64 SF
 GLAZING AND GLAZING PROVIDED = 78 SF



FLOOR PLAN

SCALE: 3/16" = 1'



RIGHT ELEVATION

SCALE: 3/16" = 1'

**PRELIMINARY ONLY
 NOT FOR
 CONSTRUCTION**

Albemarle & Associates, Ltd.
 10000 Albemarle Drive
 Kill Devil Hills, NC 27548
 Phone: (252) 441-2113
 www.AlbemarleAssociates.com
 Cert. of Licensure No. C-1027
 This document is the property of Albemarle & Associates, Ltd. All rights reserved. Any use or alteration is prohibited.

REVISIONS	
NO.	DESCRIPTION

BUILDING ELEVATIONS
OBX LANDCO HOLDINGS, LLC
1906 S CROATAN HIGHWAY
 KILL DEVIL HILLS ATLANTIC TOWNSHIP DARE COUNTY NORTH CAROLINA

DATE:	07.05.2023
SURVEYED:	SEE NOTES
DESIGNED:	JLO
DRAWN:	KCA
CHECKED:	JLO
FILE:	08709B

SCALE:
AS SHOWN

S11
 PROJ. NO. 08709B

K:\Active Projects\08709 - Lots 37 & 38-101 Lake Drive Dev. Sec 2\08709C - Bldg Plans\Cadd Files\08709C - Building.dwg, 7/5/2023, 9:01:00 AM, 1:1, ALBEMARLE & ASSOCIATES, LTD., C-1027